

VULCAN COUNTY

CHINOOK INTERMUNICIPAL SUBDIVISION & DEVELOPMENT APPEAL BOARD

May 13, 2024

10:00 am

Hearing No. DP 23-2024

Appellant: Bert & Caleb Vande Bruinhorst

Applicant: Caleb Vande Bruinhorst

LIST OF EXHIBITS

- A. Notice of Hearing and Location Sketch Map
- B. List of Persons Notified
- C. Notice of Appeal with Reasons
- D. Notice of Decision DP 23-2024
- E. Circulation Response Letters
- F. Development Permit Application 23-2024
- G. Building Permit Records
- H. Correspondence Regarding Application
- I. Excerpts from Vulcan County Land Use Bylaw 2020-028

VULCAN COUNTY

NOTICE OF CHINOOK INTERMUNICIPAL SUBDIVISION AND DEVELOPMENT APPEAL BOARD HEARING

Development Permit 23-2024

THIS IS TO NOTIFY YOU THAT IN ACCORDANCE WITH SECTION 686 OF THE MUNICIPAL GOVERNMENT ACT, REVISED STATUTES OF ALBERTA, 2000, CHAPTER M-26, AS AMENDED, A PANEL OF THE CHINOOK INTERMUNICIPAL SUBDIVISION AND DEVELOPMENT APPEAL BOARD WILL HEAR AN APPEAL OF A DEVELOPMENT PERMIT ISSUED BY THE:

**Development Authority of Vulcan County
with respect to Development Permit No. 23-2024**

APPELLANTS: Bert & Caleb Vande Bruinhorst

APPLICANT: Caleb Vande Bruinhorst

LEGAL DESCRIPTION: Lot 1, Plan 881 1438 within SW 4-16-24-W4M

PROPOSAL: Dwelling, Manufactured 2

DECISION: REFUSED

PLACE OF HEARING: **Vulcan County – Administration Building, Council Chambers**
102 Centre St.
Vulcan, AB

DATE OF HEARING: **May 13, 2024**

TIME OF HEARING: **10:00 a.m.**

PROCEDURES PRIOR TO THE HEARING FOR DP 23-2024:

1. **Provide Written Submissions** - The Appeal Board is encouraging all hearing participants to submit presentations, letters, and comments to the Board prior to the hearing. It is preferred that written material is emailed to the Board Clerk, ideally in a PDF format. Please contact the Clerk with your written submissions, which will be accepted until 12:00 p.m. May 9, 2024.

EMAIL: kattieschlamp@orrscc.com

MAIL: **Kattie Schlamp, Board Clerk**
Oldman River Regional Services Commission
3105 – 16th Avenue N., Lethbridge, Alberta T1H 5E8

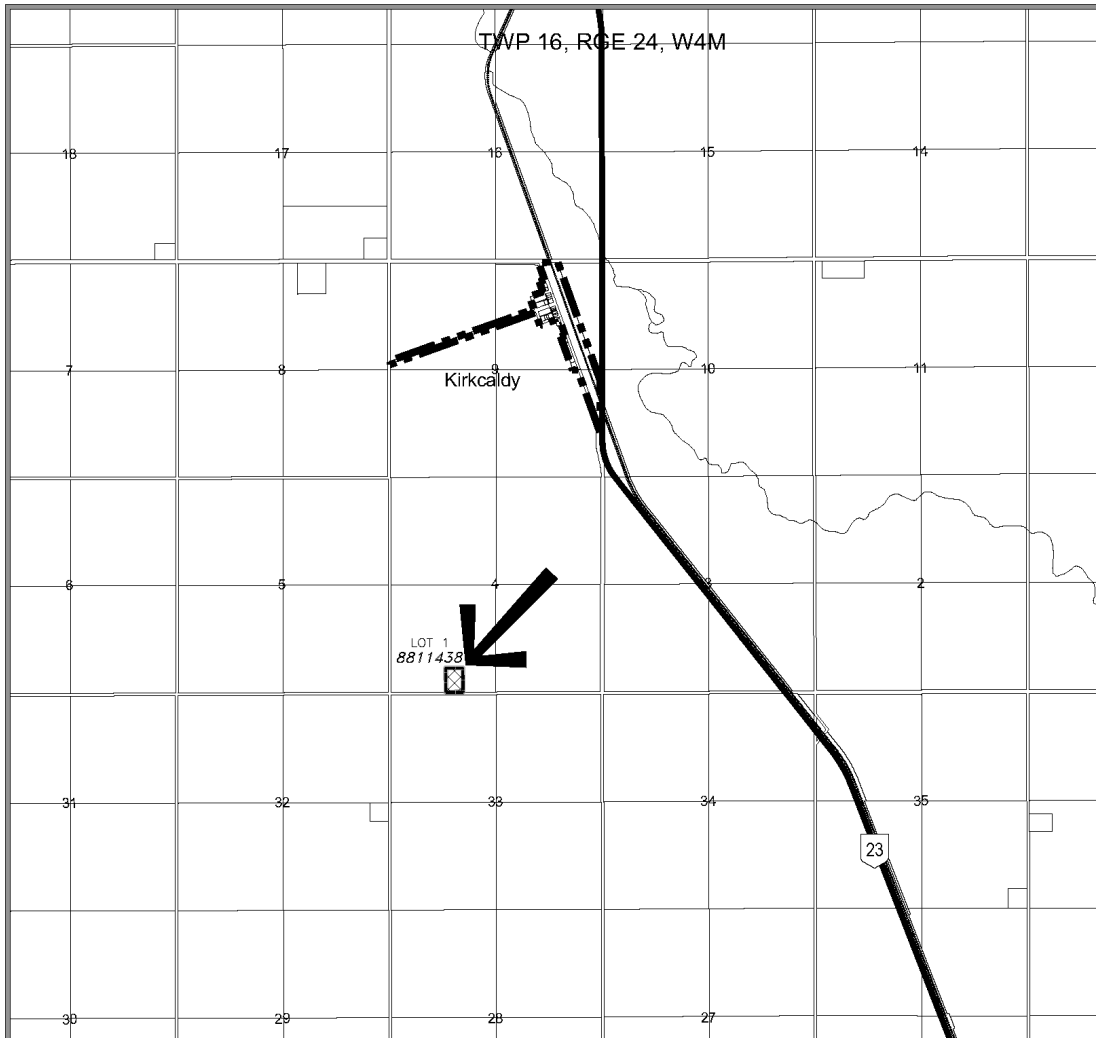
If you are bringing information to the hearing for submission, you are required to supply 12 copies.

2. **Exhibit Viewing** - The initial appeal exhibit package will be posted on the ORRSC website at **www.orrscc.com**. Any additional submissions submitted up to noon on May 9, 2024, will be posted to the website prior to the hearing.

VULCAN COUNTY
CHINOOK INTERMUNICIPAL SUBDIVISION AND DEVELOPMENT APPEAL BOARD

Land Subject of Appeal Hearing DP 23-2024

Lot 1, Plan 881 1438 within SW 4-16-24-W4M



LOCATION SKETCH
LOT 1, PLAN 8811438 WITHIN
SW 1/4 SEC 4, TWP 16, RGE 24, W 4 M
MUNICIPALITY: VULCAN COUNTY
DATE: APRIL 24, 2024



0 100 200 300 400 Meters



April 24, 2024 N:\Vulcan-County\Vulcan-County-Projects\LOCATION SKETCH - LOT 1, PLAN 8811438 - SW4-16-24-4.dwg

DATE: April 25, 2024

Kattie Schlamp, Clerk
Subdivision & Development Appeal Board

A2

VULCAN COUNTY
CHINOOK INTERMUNICIPAL SUBDIVISION &
DEVELOPMENT APPEAL BOARD

Development Application DP 23-2024

List of Persons Notified

Municipality:

CAO, Vulcan County
Vulcan County Development Officer
Vulcan County MPC (6)
ORRSC Planner, Ryan Dyck

SDAB Members:

Christopher Northcott
Evert Van Essen
Grant Turner
Michael Monner
Sheila Smidt

Appellant:

Bert & Caleb Vande Bruinhorst

Applicant:

Caleb Vande Bruinhorst

Other Persons Notified:

Audrey Middleton
Lismore Farm Inc.



P.O. BOX 180
VULCAN, ALBERTA
TOL 2B0

TELEPHONE: 1-403-485-2241
TOLL FREE: 1-877-485-2299
FAX: 1-403-485-2920
www.vulcancounty.ab.ca

Appeal Form

Site Information

Legal Description of Site

Lot 1 Plan 8811438 SW-4-16-24 W4

Development Permit Number or Subdivision Application Number

DP 23-2024

Appellant Information

Name Bert Vande Bruinhorst

Street Address or Box Number

Box

City

Champion

Province

AB

Postal Code

TOL 0R0

Email Address

Phone Number

Appeal Against

Development Permit

Approval

Conditions on Approval

Refusal

Subdivision Application

Approval

Conditions of Approval

Refusal

Order

Notice of Order

Reasons for Appeal (attach separate sheet if required)

Signature of Appellant

Date

April 19, 2024

The appeal is addressed to the Secretary of the Chinook Intermunicipal Subdivision and Development Appeal Board;

In February of 2023, we applied for a development permit for a possible cabin or manufactured home on the acreage at SW 4-16-24 W4. The reason being to possibly avoid having towers come past the acreage from the proposed solar farm by Kirkcaldy.

Fast forward to beginning of September 2023. A shop and three dwellings were to be removed from a farm east of Nanton, due to leveling of feedlot, with a time frame of two weeks to whoever was interested in moving them off the property. We decided to take the manufactured home. Found a mover and moved the home off on September 11, 2023. An ICF basement was poured on December 18th, and the home moved on a few days later.

On February 14, 2024, our permit was renewed and changed to a previously lived in manufactured home that we learned it came with the requirement of it having to be from 1985 or newer. Superior Safety Codes had us check the model year; it wasn't posted anywhere that we could tell on either the hitch or on the electrical panel. The serial number of the home is 85BCD5105, making the assumption that 85 would be the manufacture year. They asked us to send them a picture of the home and they could tell approximately what year the home was from. Permit was issued.

SureWorx Inspection Services came out for a home inspection on March 15, 2024. Report was filed with county and showed unit being older than 1985 and no permit could be issued based on that.

We are appealing this with the hopes that a waiver can be granted. If the 'older than 1985' rule is in place for cosmetic reasons, this home has had numerous updates including new windows, stucco on exterior of home and a metal roof. If codes or safety is the issue at stake, due diligence was taken to get all the necessary inspections done, and we are willing to do what is required to get this permit.

Bert VandeBruinhorst

Caleb VandeBruinhorst



P.O Box 180, 102 Centre Street
Vulcan, AB
T0L 2B0

RECEIPT NO: 148861

VANDEBRUINHORST, BERT
BOX [REDACTED]

Page: 1
Date: 2024-04-22
GST #: 106989486

CHAMPION, ALBERTA T0L 0R0

	Account	Description	Amount
General	GL	PLANNING, ZONING & DEV. - COSTS &	\$600.00

Thank you for your Payment.

Cash	\$0.00		GST	\$0.00
Cheque	\$600.00	Cheque #: 117		
Other	\$0.00			
Debit Card	\$0.00		Total	C3 \$600.00



P.O. BOX 180
VULCAN, ALBERTA
T0L 2B0

TELEPHONE: 1-403-485-2241
TOLL FREE: 1-877-485-2299
FAX: 1-403-485-2920
www.vulcancounty.ab.ca

April 3, 2024

Caleb Vande Bruinhorst
PO Box [REDACTED]
Champion, AB T0L 0R0

Re: Development Permit Application 23-2024 (NOTICE OF DECISION)

Dear Applicant,

Vulcan County Administration has **REFUSED** your development permit application for a Manufactured Dwelling 2 on Plan 8811438, Block 1, Lot 1 (the "Development").

Vulcan County Administration has determined that the proposed Discretionary Use is refused for the following reasons:

- A. The proposed manufactured dwelling was constructed prior to 1985 and therefore does not meet the standard for Eligible Dwellings under Vulcan County Land Use Bylaw 2020-028.

As per *Alberta Municipal Government Act [Section 685]* you are eligible to appeal the decision of the Development Authority. The appeal can be made in writing to the Secretary of the Chinook Intermunicipal Subdivision and Development Appeal Board and must contain the reasons for your appeal. The written appeal, along with the \$600 appeal fee can be mailed to the address at the top of the page or dropped off at the County Office at 102 Centre Street in Vulcan. The appeal period ends on **April 24, 2024**, any appeal must be received by Vulcan County before this deadline.

If you have any questions, please contact me at 403-485-2241 or email devassist@vulcancounty.ab.ca.

Regards,

A handwritten signature in blue ink that reads "Alena Matlock".

Alena Matlock
Development Officer
Vulcan County

From: [Lahnert, Jessica](#)
To: [Alena Matlock](#)
Subject: RE: Notification of Proposed Development 23-2024
Date: March 25, 2024 11:30:53 AM

[You don't often get email from jessica.lahnert@atco.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Hi Alena,

ATCO Gas has no objection to the proposed development.

Thanks,

Jessica Lahnert
Administrative Coordinator, Land
Natural Gas

P. 403 245 7443

-----Original Message-----

From: Alena Matlock <devassist@vulcancounty.ab.ca>
Sent: Tuesday, March 19, 2024 11:12 AM
To: South Land Administration <SouthLandAdministration@atco.cul.ca>
Subject: Notification of Proposed Development 23-2024

****Caution – This email is from an external source. If you are concerned about this message, please report using Phish Alert Button in your Outlook for analysis.****

Good morning,

Please see attached document regarding proposed Development Permit 23-2024.

Thank you.

The information transmitted is intended only for the addressee and may contain confidential, proprietary and/or privileged material. Any unauthorized review, distribution or other use of or the taking of any action in reliance upon this information is prohibited. If you receive this in error, please contact the sender and delete or destroy this message and any copies.

From: [Mike Kiemele](#)
To: [Alena Matlock](#)
Subject: RE: Notification of Proposed Development 23-2024
Date: March 21, 2024 8:13:23 AM

Morning

He will need approach and driveway specifications

-----Original Message-----

From: Alena Matlock <devassist@vulcancounty.ab.ca>
Sent: Tuesday, March 19, 2024 11:12 AM
To: Mike Kiemele <mike.kiemele@vulcancounty.ab.ca>
Subject: Notification of Proposed Development 23-2024

Good morning,

Please see attached document regarding proposed Development Permit 23-2024.

Thank you.

From: [Erin Aldcroft](#) on behalf of [Land Service](#)
To: [Alena Matlock](#)
Subject: RE: [CAUTION] Notification of Proposed Development 23-2024
Date: March 20, 2024 2:32:31 PM
Attachments: [Agency Notification Letter 23-2024.pdf](#)
[Structures near power lines.pdf](#)

Hello,

We have no issue with this proposed development however please see attached for setback requirements to our facilities to any new buildings.

Thank you,
Erin

-----Original Message-----

From: Alena Matlock <devassist@vulcancounty.ab.ca>
Sent: Tuesday, March 19, 2024 11:12 AM
To: Land Service <landserv@fortisalberta.com>
Subject: [CAUTION] Notification of Proposed Development 23-2024

THINK BEFORE YOU CLICK:

Before taking any action, please pause and review this message for any Red Flags and signs of phishing. If this is a suspicious email, before you delete it, use the 'Phish Alert Report' button in Outlook or contact the Service Desk.

Good morning,

Please see attached document regarding proposed Development Permit 23-2024.

Thank you.



APPLICATION FOR DEVELOPMENT PERMIT

OFFICE USE ONLY table with fields: Application No. (23-2024), Roll No. (241604222), Deemed Complete (Yes), Date of Completion (19 Mar 2024), Date Received (13 March 2024), Division (3), Land Use District (Rural General), Application Fee (\$225.00), Fire Dept. (Vulcan), Use (Manufactured Home 2.), Date Application Fee Received (13 March 2024), Gas Coop (Sunshine), Land Title Verified (Yes).

1) APPLICANT AND LAND INFORMATION

Applicant Name: Caleb Vande Bruinhort

Phone: [redacted] Email: [redacted]

Mailing Address: Box [redacted] Champion, AB TOLONA

IF APPLICANT IS NOT THE REGISTERED OWNER

Applicant's Interest In Property [] Agent [] Contractor [] Tenant [] Other: _____

Registered Owner's Name: _____

Phone: _____ Email: _____

Mailing Address: _____

Quarter: SW Section: 4 Township: 16 Range: 24 W4M

Plan: 8811438 Block: 3- Lot: 1

Municipal Street Address (If Applicable): _____

Parcel Area Acres: 5 Hectares: _____

Existing Development

Please detail existing buildings, structures, uses, and improvements existing on the parcel. (If they will be altered as part of this application, please detail the improvements)

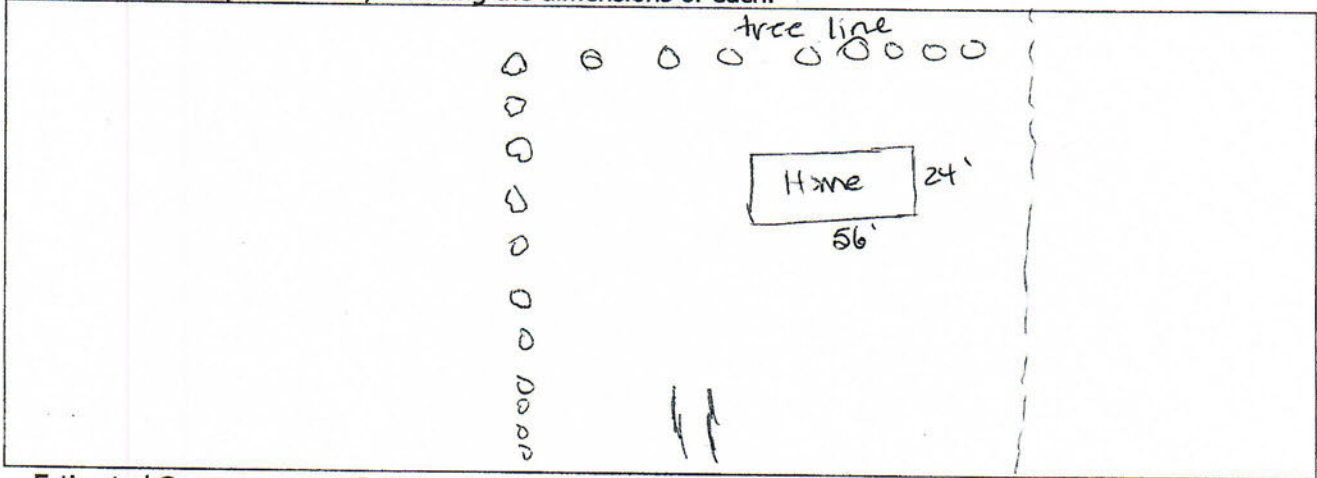
Large empty box for detailing existing development, containing the handwritten text 'Was blank slate'.



2) DEVELOPMENT DETAILS

Proposed Development

Please detail the proposed development including uses, buildings, structure, and any other planned renovations or improvements; including the dimensions of each.



Estimated Commencement Date: September '23 Estimated Completion Date: June '24

Estimated cost of the project (\$): \$100,000.00

For **residential** developments please check all applicable boxes below:

- | | |
|---|---|
| <input type="checkbox"/> Single detached dwelling | <input type="checkbox"/> Manufactured home 1 (new) |
| <input type="checkbox"/> Semi-detached dwelling | <input checked="" type="checkbox"/> Manufactured home 2 (previously occupied) |
| <input type="checkbox"/> Ready-to-move home (new) | <input type="checkbox"/> Accessory building to approved use |
| <input checked="" type="checkbox"/> Moved-in dwelling (previously occupied) | <input type="checkbox"/> Accessory building prior to principal building |
| <input type="checkbox"/> Modular home | <input type="checkbox"/> Other: |

3) Other

Access

- Is the parcel adjacent to an existing developed roadway? Yes No
- Is the parcel currently subject to an Approach Agreement with Vulcan County? Yes No

Servicing

Please indicate how the proposed development will be serviced

- | | |
|---|--|
| Water Supply | Sewer Servicing |
| <input type="checkbox"/> Cistern <input checked="" type="checkbox"/> Well <input type="checkbox"/> Dugout <input type="checkbox"/> Coop | <input checked="" type="checkbox"/> Septic Tank <input checked="" type="checkbox"/> Septic Field <input type="checkbox"/> Communal |
| Other: _____ | Other: _____ |

Location

- Please indicate if any of the following are within 1.6 km (1 mile) of the proposed development
- | | | |
|---|---|--|
| <input type="checkbox"/> Provincial Highway | <input type="checkbox"/> Confined Feeding Operation | <input type="checkbox"/> Sour gas well or pipeline |
| <input type="checkbox"/> Sewage Treatment Plant | <input type="checkbox"/> Waste Transfer Station or Landfill | <input type="checkbox"/> River or Waterbody |
- Please indicate if any of the following are within 800m (1/2 mile) of the proposed development
- | | |
|--|---|
| <input type="checkbox"/> Slope of 15% or greater | <input type="checkbox"/> Existing multi-lot residential subdivision |
|--|---|



4) Declaration

I/We have read and understand the terms noted below and hereby apply for a development permit to carry out the development described within this application including any attached forms, plans, and documents.

I/We hereby certify that all plans and information submitted are, to the best of my knowledge, true and correct.

I/We hereby certify that the registered owner of the land is aware of and in agreement with this application.

I/We hereby give consent to allow authorized persons the right to enter the subject land and/or building(s) for the purpose of an inspection with respect to this application.

Date: Feb 20124

Applicant's Signature: [Signature]

Date: _____

Registered Owner's Signature:
(Required If Different from Applicant)

5) Development Permit Process

1. The Development Permit Application is to be submitted along with the application fee as described in the Fees for Service Bylaw and any additional information as indicated in Appendix A.
2. The County office will then notify adjacent landowners and may place an ad in the Vulcan Advocate respecting the proposed development.
3. You will receive a copy of the Notice of Decision and Development Permit Application in the mail dated the day the Development Permit was approved, although the Development Permit is not valid until 21 days after the Date of Issue of Notice of Decision.
4. The Development Permit is subject to all conditions specified on the Development Permit.
5. After the advertisement period a copy of the Development Permit and Notice of Decision will be sent to all relevant stakeholders which may require a copy of the approved development permit.
6. If your application has been refused or approved subject to conditions set forth by the Development Authority, you can appeal the decision to the **SUBDIVISION AND DEVELOPMENT APPEAL BOARD** or **LAND AND PROPERTY RIGHTS TRIBUNAL**, as specified on in the Development Permit or Notice of Refusal. If an applicant wishes to appeal the decision, a written notice of appeal must be served to the Vulcan County Planning and Development Department **within 21 days of the Date of Issue of Notice of Decision**. Vulcan County's Planning and Development Department will then forward the appeal to the relevant appeal body. Appeals may be mailed to:

VULCAN COUNTY PLANNING AND DEVELOPMENT
180 VULCAN, ALBERTA T0L 2B0
Phone 403-485-2241 Fax 403-485-2920

Site Plan



2/13/2023, 9:43:36 AM

● Residences

□ Landowners (February 2, 2023)

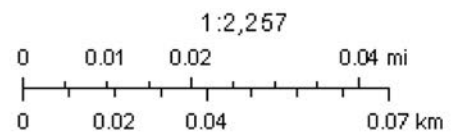
— Road_Network

— Cadastral RWs' January 2023

— County Gravel Road

— Cadastral - Labels

— <all other values>



MD 01 Willow Creek No. 26, Vulcan County

F4



243058
TWP RD 160

INSPECTION REPORT
SW 4-16-24 W4
AB

INSPECTED BY
Gerald de Kok
SureWorx
Inspection
Services Inc.

INSPECTION DATE
📅 3/13/2024
🕒 09:00 AM

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General Info

Property Address SW 4-16-24 W4 AB	Date of Inspection 3/13/2024	Report ID 20240313-SW-4-16-24-W4
Customer(s) Bert & Caroline Vande Bruinhorst	Time of Inspection 09:00 AM	Real Estate Agent

Inspection Details

In attendance: Customer	Type of building: Single family (1 story)	Approximate size: 56 x 24
Approximate year of major renovations: 1995	Occupancy: Unoccupied - long term	Temperature: Below 32 (F) = 0 (C)
Weather: Clear	Ground/Soil surface condition: Wet, Snow covered	Rain in last 3 days: No
Radon Test: No	Water Test: No	

Comment Key & Definitions

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Marginal (MA) = At the time of the inspection this item or component is still performing as intended but requires maintenance, service or restoration by a qualified person to continue functioning properly and prevent further deterioration or damage. It would be prudent for the homeowner/client to observe its operation closely and budget for replacement or repairs in the near future.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement. These items will be summarized.

This home inspection is to be performed according to **CSA A770 Home Inspection Standards of Practice**. A home inspection is intended to be a non-invasive evaluation of the condition and performance of systems and components of a home. The primary objective is to identify and report any items that do not perform their intended function. The focus of a home inspection is typically on significant issues that are readily visible to the inspector as opposed to minor building deficiencies. Inspection of cosmetic, maintenance, and other non-critical items are typically not part of a home inspection. Home inspections in

accordance with this Standard are not intended to verify a home's compliance to codes and regulations (e.g., building codes).

The home had not been occupied for an extended period of time. Deficiencies that may be apparent when the home is used in a normal manner may not be apparent when the home has not been used. The opposite is also true. Deficiencies may exist as a result of non-use that may disappear once the home has begun to be used in a normal manner. You should take this information into consideration when reading this report.

This home is considered a "work in progress". The home inspection is limited to what can be inspected in regards to floor and wall coverings and general cosmetics. You should be aware of obvious areas that need prep and paint, or replacement of coverings. These items represent the overall condition of home. The inspection of main components is the purpose of this inspection. Components such as structure, roof, plumbing, heating and electrical are main components. Utilities must be on for inspection of these areas. If the inspection report states that a utility is off (no water, no fuel, or no electrical) then any item relating to these components cannot be inspected. Always consider having the utility on in order to inspect these areas. There is a fee for a return trip to re-inspect.

1. Structure

Inspection of the structural components shall cover all areas of the primary occupancy including, but not limited to, attached garages and storage areas, and enclosed porches, verandas, foundations, and sunrooms. Foundations shall include an examination for damage; movement; and evidence of water issues. Concrete slab on ground/grade shall include an examination for damage; movement; and evidence of water issues. Floor structures shall include an examination of the interior floor system for abnormal deflection; sponginess; and trip or fall hazards. Wall structure shall include an examination for weathertightness; and abnormal deflection. Roof structure shall include an examination for weathertightness; and abnormal deflection. Interior guards and handrails shall include an assessment as to whether guards and handrails are absent where needed; and the height and configuration of guards and handrails is appropriate; and an examination for deficiencies in stability; and deficiencies in the security of connections. Interior stair systems shall include an examination for trip or fall hazards.

Minor cracking is normal with concrete foundation materials, is typically limited to the material surface, is not a structural concern, and may not be commented on. Cracking related to soil/foundation movement indicates the potential for present or future structural concerns and will be commented on to the best of the inspector's ability.

Much of the home structure is hidden behind exterior and interior roof, floor, wall, and ceiling coverings, or is buried underground. Because the inspection is limited to visual and non-invasive methods, this report may not identify all structural deficiencies. Identification of portions of the wall structure not directly visible requires logical assumptions on the part of the Inspector that are based on the Inspectors past experience and knowledge of common building practices.

Upon observing indications that structural problems may exist that are not readily visible, or the evaluation of which lies beyond the Inspector's expertise, the inspector may recommend evaluation or testing by a specialist that may include invasive measures, which would require homeowner permission.

Styles & Materials

Limitations:

Restricted/limited access

Foundation:

ICF (insulated concrete forms)

Columns and beams:

Steel beams (manufactured home)

Floor structure:

Engineered floor joists

Subfloor - plywood

Extra Info : Concrete basement slab not installed

Wall structure:

Sheathing - plywood

Wood

Extra Info : R7.5 Extruded Polystyrene Rigid Insulation

Ceiling structure:

Not visible

Roof structure:

Sheathing - plywood

Manufactured home - not visible

Roof style:

Gable

Approximate roof slope:

4/12

Items

1.0 General Structural Comments

Comments: Inspected

The home was "work in progress" at the time of inspection. Components not yet installed are not commented on, however, the home was structurally in general good condition.

The basement consisted of ICF concrete foundation poured on concrete footers. At the time of inspection the drainage tile and washed gravel was installed. No water proofing was applied to the foundation walls, nor was it back filled.

The basement floor had a washed gravel base installed, however, I did not find the rough-in for radon-reduction (mitigation) system or any drain waste and vent lines. Radon reduction system, drain waste and vent lines, sump pit, vapour barrier and concrete slab were not installed at inspection time.

The floor structure consisted of a steel under structure conducive to a manufactured home. I-joists and subfloor sheathing were added above. On lazer leveling the floor, with a few exceptions noted below, the floor was level and in good condition.

The stub walls between the ICF foundation and floor had not been placed at inspection time. I recommend they be installed and secured with straps from foundation to the floor by a qualified framing contractor.

The exterior walls were 2x4, plumb and had no visible signs of deterioration. R7.5 extruded styrofoam was added to bring the R-value to R21.

The roof was a metal panel roof with no signs of leakage observed other than one spot due to a missing roof vent. No mould was observed at said location. The roof lines were level with no signs of structural failure.

1.1 Foundations

Comments: Inspected

ICF



1.1 Item 1 (Picture)

1.2 Columns and Beams

Comments: Marginal

(1) One post was not in place and the others were not fastened to the beam. I recommend completion of setting of posts.



1.2 Item 1 (Picture) Missing post



1.2 Item 2 (Picture) Not secured to beam.

(2) Floor beams and general structure. Good.



1.2 Item 3 (Picture)

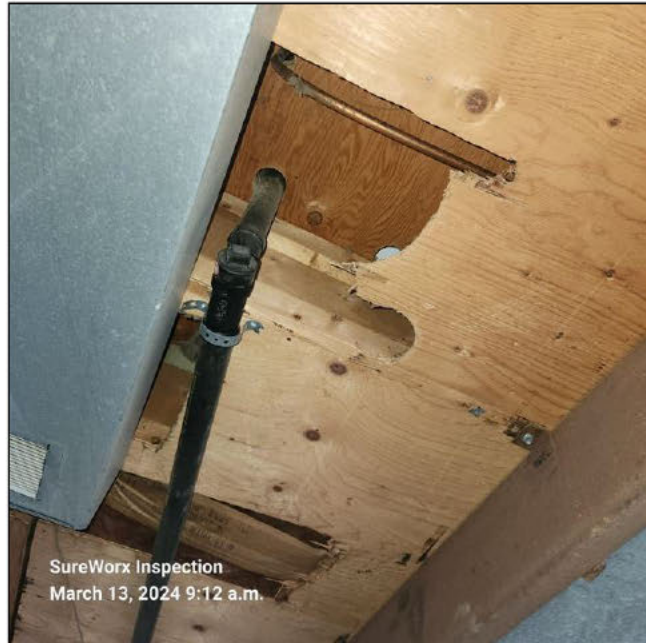
1.3 Concrete Slab on Ground/Grade

Comments: Not Present

1.4 Floor Structure

Comments: Repair or Replace

(1) Floor structure - good



1.4 Item 1 (Picture)

(2) The stairwell side joists had joist hangers that were removed. I recommend reinstalling.



1.4 Item 2 (Picture)

(3) Floors throughout the house were generally level, with one exception. The living room bay window floor was settled in the corner by approximately an inch. I recommend adding structural supports at the exterior below by a qualified contractor. Contractor may require engineered plans.



1.4 Item 3 (Picture)

1.5 Wall Structure

Comments: Inspected

1.6 Roof & Attic Structure

Comments: Inspected

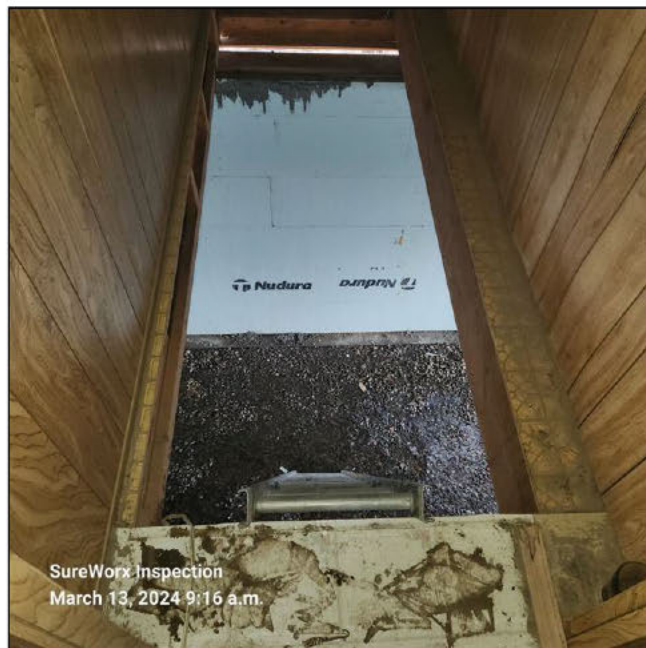
1.7 Interior Guards and Handrails

Comments: Not Present

1.8 Interior Stairs

Comments: Not Present

No stairs were installed at inspection time.

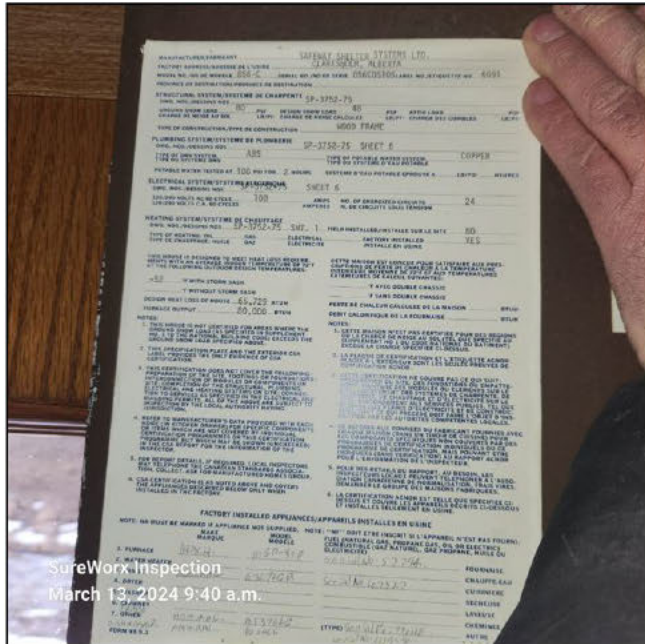


1.8 Item 1 (Picture)

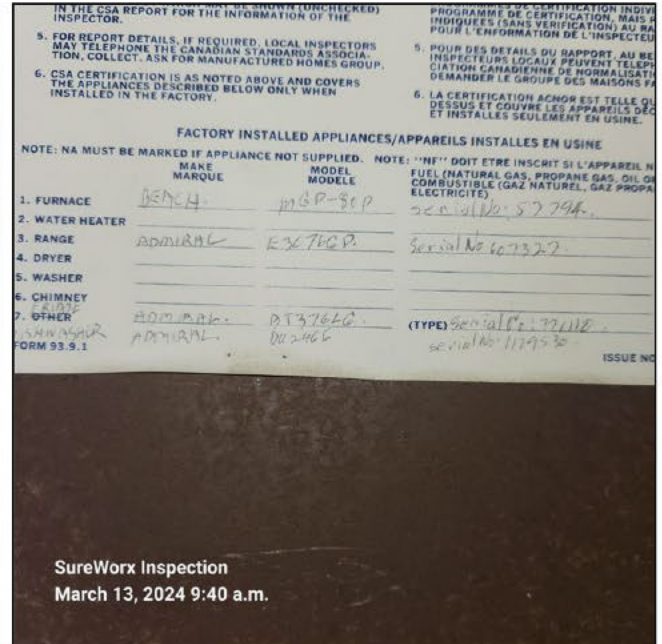
1.9 Manufactured Homes

Comments: Inspected

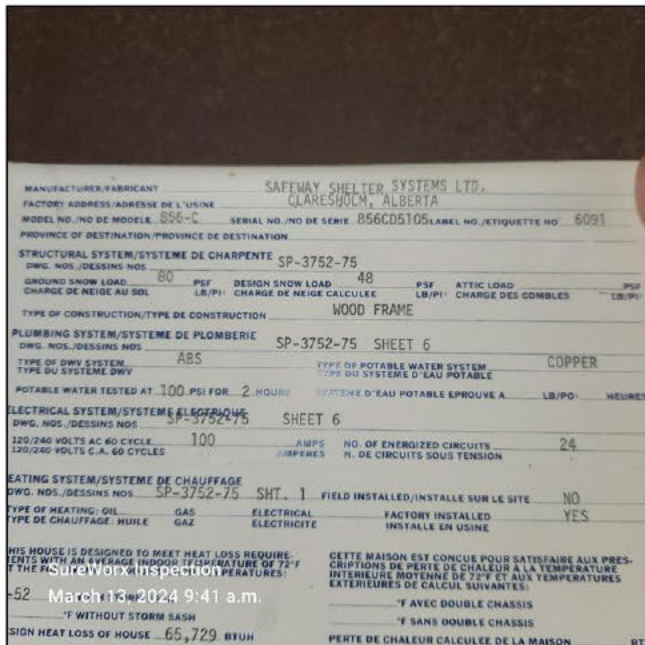
(1) Manufactured Home spec sheets.



1.9 Item 1 (Picture)



1.9 Item 2 (Picture)



1.9 Item 3 (Picture)

(2) Specification tag



1.9 Item 4 (Picture)

(3) CSA standards A277.



1.9 Item 5 (Picture)

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors, engineers and/or foundation specialists be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Building Envelope

Exterior walls shall be inspected. The inspection shall include, but not be limited to, an examination of the exterior cladding system for rot; damage; deficiencies in securement; and weathertightness. Decks, balconies, pergolas, trellises, and other similar structures that are adjacent or attached to the primary occupancy, including the roof protection system and exterior cladding shall be examined for rot or damage. Exterior guards and handrails shall include an assessment as to whether guards and handrails are absent where needed; and the height and configuration of guards and handrails is appropriate; and an examination for deficiencies in stability; and deficiencies in the security of connections. Exterior doors shall include an examination for weathertightness; security issues; and improper operation. Garage doors and openers shall include an examination for safety issues; and improper operation. Exterior windows and skylights shall include an examination for weathertightness; security issues; and improper operation. Roof and attic, roofing, roof penetrations, roof flashings, and attic ventilation shall include an examination for ventilation deficiencies; weathertightness; and improper termination of the ducting and venting for appliances and plumbing systems that pass through the attic space. Soffit, fascia, and trim shall include an examination for rot; damage; and deficiencies in attachment. Gutters and downspouts, including extensions shall include an examination for improper water control and discharge; rust; damage; and deficiencies in support or attachment. Insulation, air barrier, and vapour barrier shall include an examination for deficiencies in the amount and location of insulation; and deficiencies in the location of the air barrier and vapour barrier, or identification of the absence of these items. Note: Inspection of insulation, air barrier, vapour barrier, and other similar components will only be carried out where these items are visible and readily accessible.

Styles & Materials

Limitations: Slippery	Roof observed: Ladder	Roof covering: Metal panel
Roof underlayment/ interlayment: Mostly hidden from view	Roofs estimated material age: Unknown Extra Info : 1995 - presumed	Deck and/or Balcony: Floor - wood Extra Info : Removed
Floor system insulation: Below R-20	Exterior entry doors: Steel Wood	Exterior windows & skylights: Wood Aluminium Double pane Extra Info : Date in glass - 1995
Weather barrier: Weather resistant barriers (Barricade, Tyvek, HomeGuard, CertainTeed)	Siding style: Cement stucco	Siding material: Stucco - hardcoat
Soffit and fascia: Aluminium Perforated	Roof ventilation: Roof vents Soffit vents	Approximate attic insulation depth: Unknown - not visible.
Vapour barrier: Installed		

Items

2.0 Exterior Walls

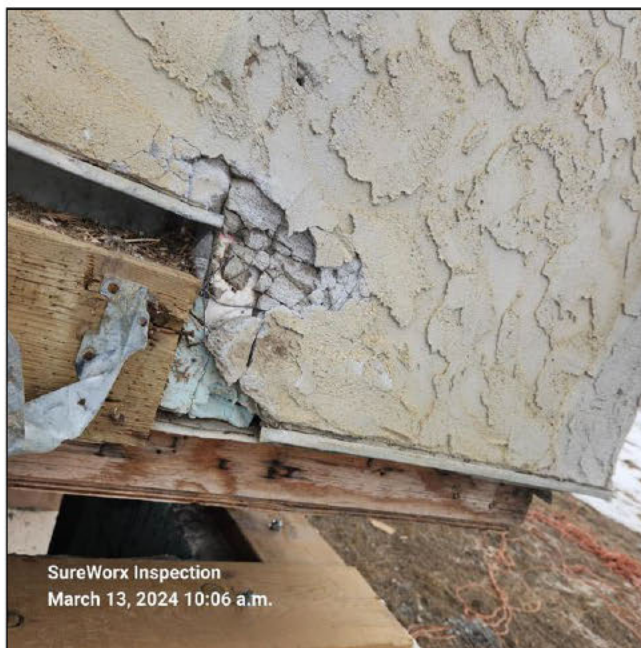
Comments: Marginal

(1) The stub wall between the foundation and the home was not installed at inspection time.



2.0 Item 1 (Picture)

(2) Wall consists of framing, plywood sheathing, styrofoam insulation, weather barrier and hard coat stucco.



2.0 Item 2 (Picture)

(3) Bay window has a settled corner and needs to be supported.



2.0 Item 3 (Picture)

(4) Microbial growth of stub wall sheathing indicates missing top and bottom ledger board transition flashings. I recommend removal of damaged sheathing and proper installation of transition flashings.

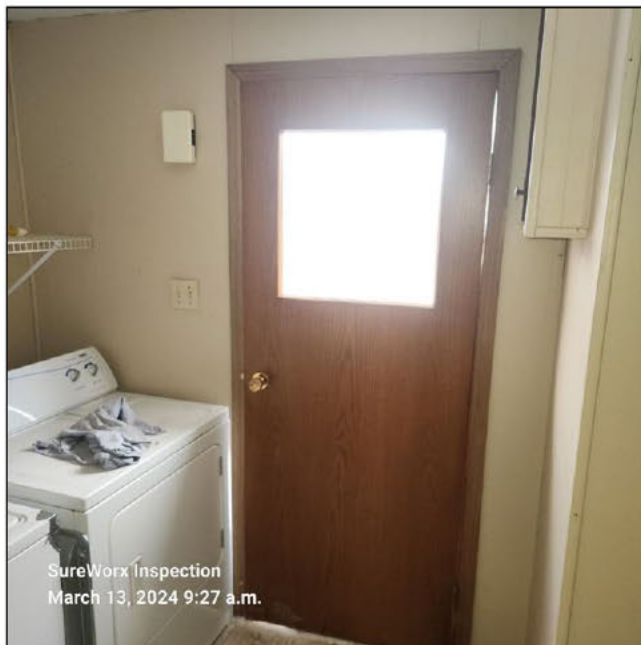


2.0 Item 4 (Picture)

2.1 Exterior Doors

Comments: Repair or Replace

(1) The exterior laundry room door was an interior door. I recommend installing an exterior rated door.



2.1 Item 1 (Picture)

(2) The dining room / deck exterior door windows were fogged. I recommend replacement of fogged glass.



2.1 Item 2 (Picture)

2.2 Exterior Windows and Skylights

Comments: Inspected

Windows were exterior aluminium window frames were in good condition. Windows were manufactured in 1995.



2.2 Item 1 (Picture)

2.3 Insulation, Air and Vapour Barrier

Comments: Inspected

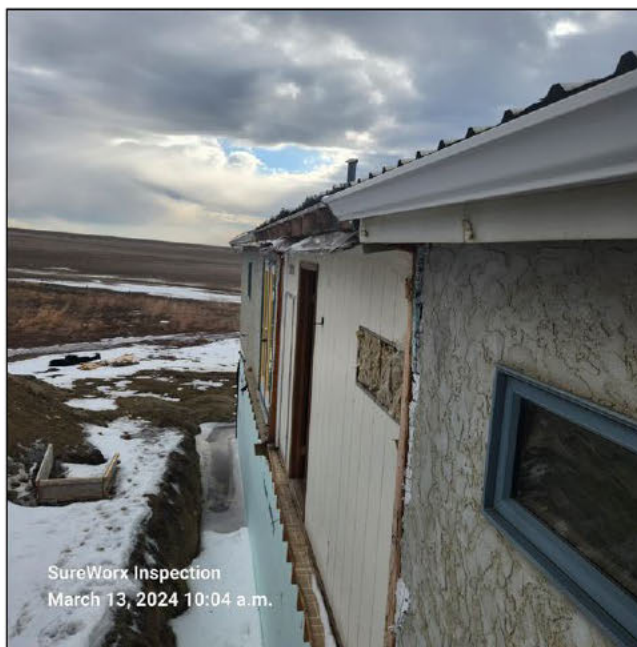
2.4 Soffit, Fascia, and Trim

Comments: Inspected

2.5 Gutters and Downspouts

Comments: Marginal

Gutters and downspouts were not upgraded at inspection time. Work in progress.



2.5 Item 1 (Picture)

2.6 Roof - Flashing

Comments: Repair or Replace

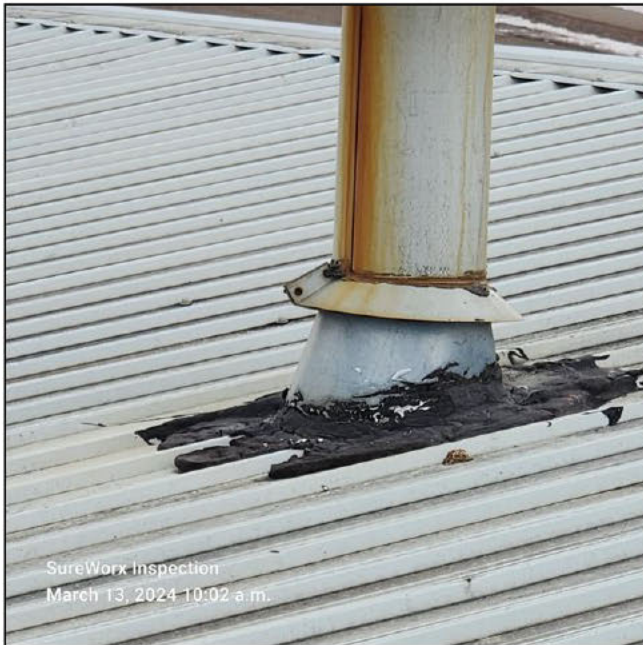
(1) Roof flanges were not installed properly and will leak in time. I recommend installing flanges in lap fashion as per modern standards by a qualified metal roofing contractor.



2.6 Item 1 (Picture)

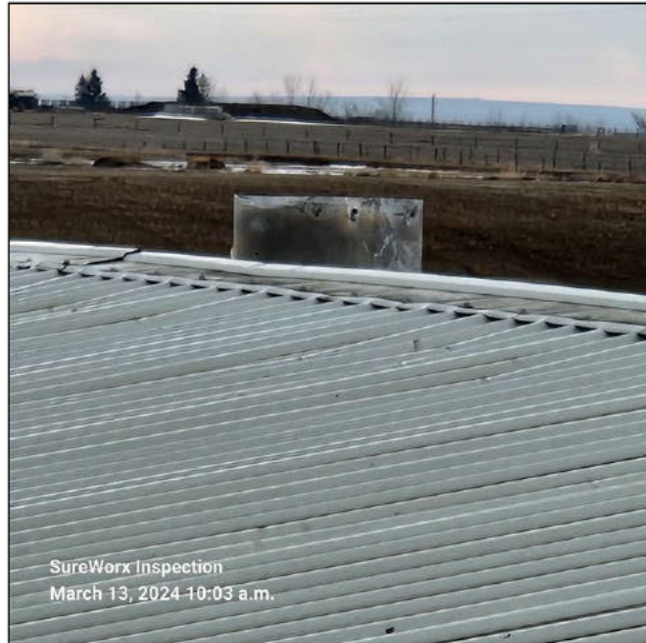


2.6 Item 2 (Picture)



2.6 Item 3 (Picture)

(2) Dents were observed in the metal panels. I recommend ensuring connections have not opened up. Repair as needed.



2.6 Item 4 (Picture)

2.7 Roof - Metal

Comments: Inspected

Photos of metal roof.



2.7 Item 1 (Picture)



2.7 Item 2 (Picture)

The building envelope was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items in this report should be considered before purchase. It is recommended that a qualified contractor be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Plumbing System

Plumbing systems: Potable water supply and distribution systems shall be inspected. The inspection shall include, but not be limited to, an examination for evidence of leaks; deficiencies in flow; deficiencies in pressure; and deficiencies in piping materials. Non-potable water reuse supply and distribution systems, also known as grey water systems, shall be examined for evidence of leaks; deficiencies in flow; deficiencies in pressure; and deficiencies in piping materials. Domestic water heaters shall be examined for evidence of leaks; improper function; and plumbing fittings and fixtures. Bath and shower enclosing surfaces shall be examined for evidence of leaks; improper function; damage; and deficiencies in the security of connections. Interior sanitary drainage systems shall be inspected for evidence of leaks; improper function; and deficiencies in materials. Storm drainage systems including sump pumps shall be examined for evidence of leaks; improper function; and deficiencies in materials. Non-potable water discharge systems shall be examined examination for evidence of leaks; improper function; and deficiencies in materials. Automatic irrigation systems shall receive an examination for the absence of a water cross-connection control device (e.g., a backflow preventer).

Styles & Materials

Limitations:

Covered or concealed plumbing
No water - off

Bathtub:

Bathtub with shower
Plastic surround

Plumbing water distribution (inside home):

Copper
PEX (cross-linked polyethylene)

Shower:

Fiberglass
Fiberglass tray
Glass enclosure

Drain waste and vent pipe materials:

ABS (acrylonitrile butadiene styrene)

Laundry washer drain size:

1 1/2" diameter (undersized)

Items

3.0 Main Water Shut Off Device (describe location)

Comments: Not Present

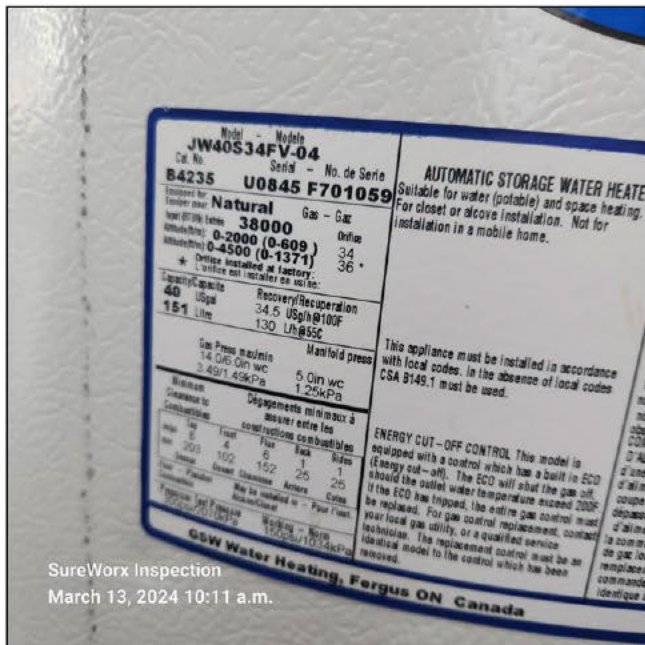
3.1 Potable Water Supply and Distribution

Comments: Not Inspected

3.2 Domestic Water Heaters

Comments: Not Present

The water heater was a 2008, but was not installed.



SureWorx Inspection
March 13, 2024 10:11 a.m.

3.2 Item 1 (Picture)



SureWorx Inspection
March 13, 2024 10:11 a.m.

3.2 Item 2 (Picture)

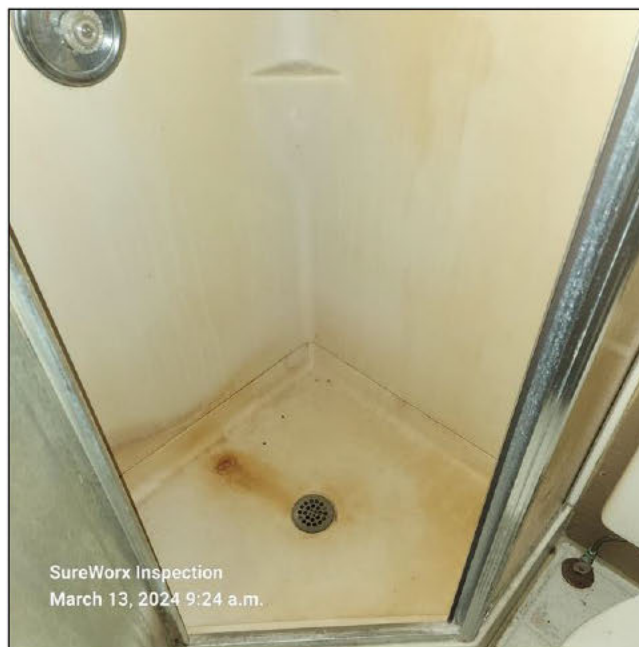


3.2 Item 3 (Picture)

3.3 Plumbing Fittings and Fixtures, Bath and Shower Enclosing Surfaces

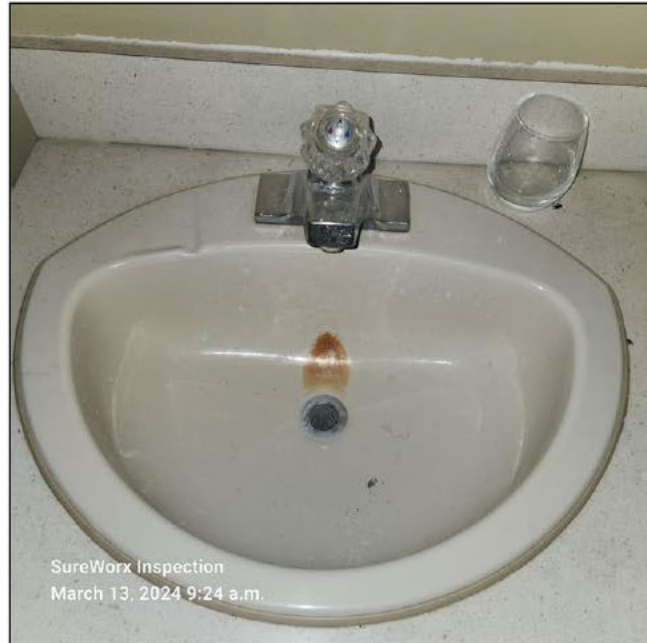
Comments: Marginal

(1) The hall bathroom shower was stained.



3.3 Item 1 (Picture)

(2) The bathroom sinks had stains.



3.3 Item 2 (Picture)

3.4 Exterior Plumbing (faucets, hydrants, pressure)

Comments: Not Inspected

Not that faucet seals may have deteriorated due to lack of use. Count on repair or replacement of fixtures.

3.5 Interior Sanitary Drainage Systems (including sewage ejector pump)

Comments: Not Present

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Heating, Cooling, and Mechanical Ventilation Systems

Heating and cooling systems shall be inspected. The inspection shall cover the fuel system, heat transfer system, venting system, and distribution system and shall be examined for improper function; and safety issues. The inspection of heating equipment as required by this standard is not a comprehensive examination of the system and does not replace review and maintenance by a licensed professional HVAC practitioner. Inspection of supplementary systems, including solar hot water and ground - water - source heat pumps, etc., might require special training. Inspectors should identify where a supplementary system is present. Operation of heating and cooling equipment should only be done if damage to the equipment can be avoided. For example, there could be a risk of damage to the compressor if cooling systems are tested when the exterior temperature is less than 16 °C. Mechanical ventilation systems shall be examined for improper function; and inappropriate location of equipment. Fireplaces and chimneys shall receive an examination for damage; improper function; and safety issues. Due to limitations of the inspection, it is not typically possible to inspect the flue.

Items

4.0 Operating Controls

Comments: Inspected

Control

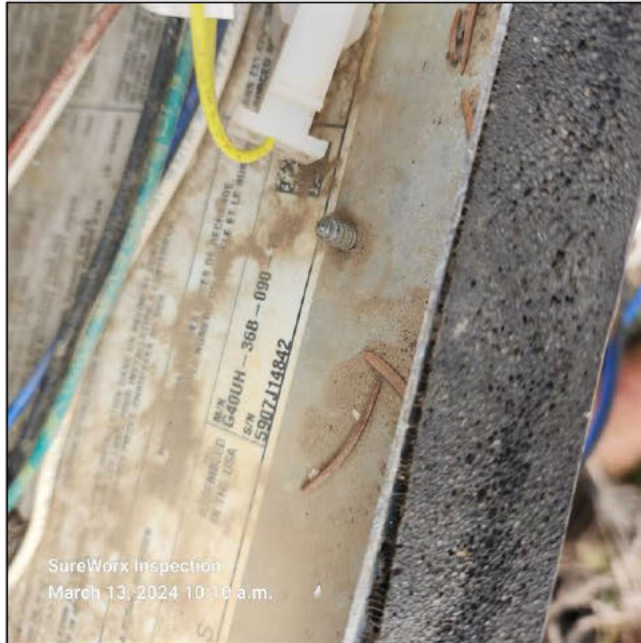


4.0 Item 1 (Picture)

4.1 Heating System

Comments: Not Present

The 2007 Lennox furnace for the home was exposed to the exterior elements and was not installed.



4.1 Item 1 (Picture)



4.1 Item 2 (Picture)

5. Electrical Systems

Electrical service, main disconnect, and earth grounding system shall be inspected. The inspection shall include, but not be limited to, an examination for improper location of equipment; inadequate service capacity; and safety issues. Distribution panels shall be examined for improper location of equipment; and safety issues. Distribution wiring and circuitry shall be examined for safety issues, including improper wire type. Lighting, switches, receptacles, and junction boxes, including in each room, attached garage, and the exterior shall be examined for improper location; improper function; the absence of necessary equipment; non-functional lighting, ceiling fans, and switches; inappropriate switch locations; and safety issues. Where auxiliary electrical systems are present (e.g., solar power, wind power, battery power, generators, pool or spa electrical systems), they should be reported. A recommendation should be made that this equipment be examined by a qualified person.

Over the years, many different types and brands of electrical components have been installed in homes. Electrical components and standards have changed and continue to change. The homes electrical systems are not required to be updated to meet newly enacted electrical codes or standards. Full and accurate inspection of electrical systems requires contractor-level experience. For this reason, a full inspection of the home electrical systems lies beyond the scope of the General Home Inspection.

Styles & Materials

Limitations: Concealed components	Electrical service conductors: Copper	Service panel capacity: 125 Amp
Service panel type: Circuit breakers GFCI breakers	Service panel manufacturer: Nova-line	Sub-panel manufacturer: FPE Stab-Lok
Service grounding electrode: Not visible	Service disconnect location: Service panel	Service disconnect ampacity: 100 Amp
Type of branch wiring: Copper - solid Vinyl coated	Wiring methods: Romex	(GFCI) Ground fault circuit interrupter protection: Exterior protected Bathroom(s) protected Kitchen not protected GFCI's at service panel
(AFCI) Arc fault circuit interrupter protection: Home not protected	(TP) Tamper proof receptacles: Home not protected	

Items

5.0 General Electrical System Description

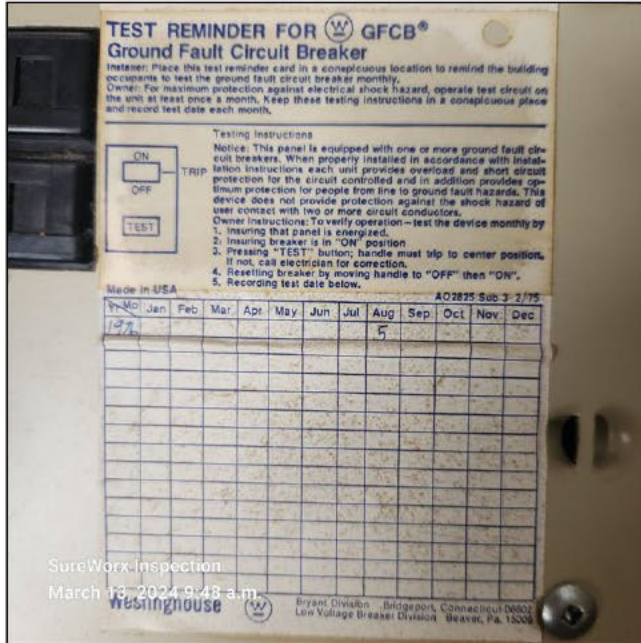
Comments: Not Inspected

Power company service cables fed a load center service panel containing a main disconnect and breakers that protected and controlled power to some branch circuits. The load center also supplied power to one or more sub-panels that contained breakers protecting and controlling other branch circuits.

5.1 General Electrical System Condition

Comments: Marginal

The electrical system is approximately 48 yrs old. I recommend a full evaluation and an upgrade by a qualified electrical contractor.



5.1 Item 1 (Picture)



5.1 Item 2 (Picture)

5.2 Electrical Service, Main Disconnect, and Earth Grounding System

Comments: Inspected

FYI - The 100 Amp service disconnect in the picture was located on the main service panel of the home. This is for emergency and system servicing use.

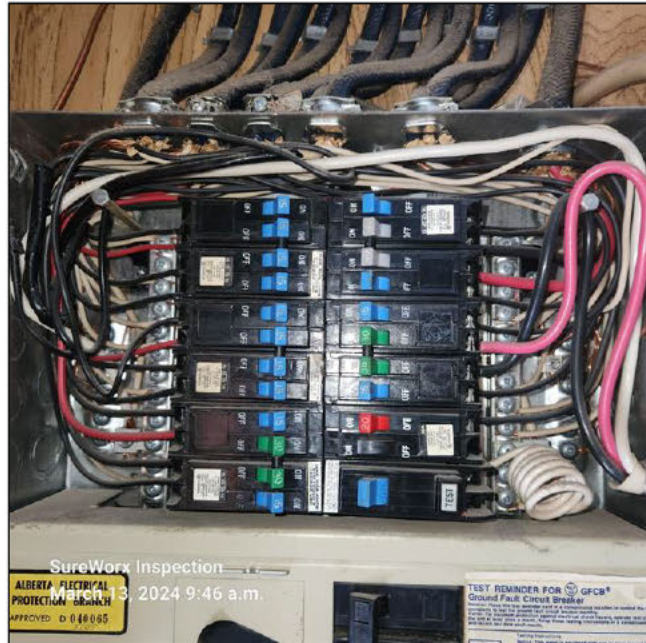


5.2 Item 1 (Picture)

5.3 Distribution Panels & Overcurrent Protection Devices

Comments: Inspected

Panel interior



5.3 Item 1 (Picture)

5.4 Distribution Wiring and Circuitry

Comments: Inspected

5.5 Lighting, Switches, Receptacles, and Junction Boxes

Comments: Not Inspected

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Life Safety Systems

Carbon monoxide detection shall be inspected. The inspection shall include, but not be limited to, an examination for improper location; the rated life of detectors (e.g., by identifying date markings); and the absence of detectors where they are needed. Note that carbon monoxide (CO) detectors are typically removable equipment and that the manufacturer's recommendations should be followed for the installation and use of detectors (e.g., in regards to installed location, testing procedures, and replacement). For monitored life safety systems, the inspector recommends to contact the monitoring company regarding inspection of the system. Smoke and heat detectors shall be examined for improper location; the rated life of detectors (e.g., by identifying date markings); and the absence of detectors where they are needed. Inspectors should note that smoke and heat detectors are typically removable equipment and that the manufacturer's recommendations should be followed for the installation and use of detectors (e.g., in regards to installed location, testing procedures, and replacement). For monitored life safety systems, the inspector recommends to contact the monitoring company regarding inspection of the system. Fire separation in attached garages or other attached buildings or dwellings shall be examined for improper location; improper type; improper function; and the absence of separations where needed.

Items

6.0 Carbon Monoxide Detection

Comments: Repair or Replace

The home was not adequately alarm protected for carbon monoxide. I recommend that a interconnected carbon monoxide alarm be installed in or within 5 meters (16 feet) of each bedroom, and in or near each room containing a solid-fuel-burning appliance. Always follow manufacturers and local code requirements.

6.1 Smoke and Heat Detection

Comments: Repair or Replace

The home was not adequately alarm protected for smoke. I recommend that a interconnected smoke alarm be installed in each bedroom, the hallway serving a bedroom and on every level of the home. Smoke alarms should conform to local standards.

6.2 Fire Egress from Bedrooms

Comments: Inspected

7. Interior Finishes and Built-in or Attached Furnishings

Floors, walls, ceilings, interior doors, glazing, and trim shall be inspected. The inspection shall include, but not be limited to, an examination for improper function; deficiencies in stability; deficiencies in the security of connections; and safety issues. Attached cabinetry and countertops and built-in or attached furnishings, shall be examined for improper function; deficiencies in stability; deficiencies in the security of connections; and safety issues. Swimming pool areas shall be examined for improper drainage; inadequate isolation of the pool (e.g., by way of a fence with a latch to prevent unauthorized access to the pool area, where applicable); and safety issues. Accessibility equipment where specialized accessibility equipment is present should be reported. A recommendation should be made that accessibility equipment be examined by a qualified person. Note: Homes can include specialized accessibility equipment such as elevators, lifts, ramps, auditory and visual assists, specialized handrails, tactile features, electrical switches and receptacles, and cabinetry suited to facilitate barrier-free access. The minimum requirements of a home inspection in accordance with this Standard do not include an inspection of accessibility equipment.

Styles & Materials

Ceiling materials:

Compressed board

Wall material:

Paneling

Floor covering(s):

Laminated T&G
Vinyl

Interior doors:

Hollow core
Masonite

Window material:

Aluminium
Wood

Window glazing:

Double pane

Window operation:

Casement
Fixed
Awning

Cabinetry:

Melamine
Veneer
Wood

Countertop:

Laminate

Items

7.0 Floors

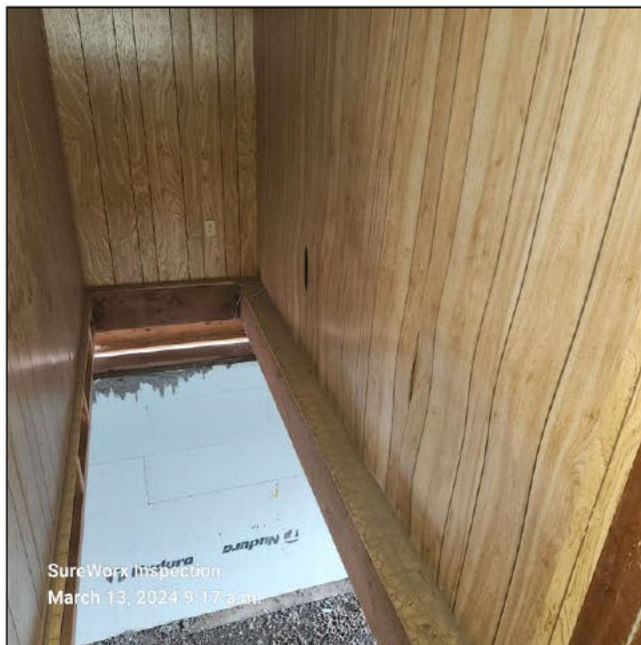
Comments: Inspected

The home was under construction and the floors were covered in debris, however, they appeared to be in fair condition.

7.1 Walls

Comments: Marginal

Most of the interior wall panels were in good condition. The wall paneling in the stairwell was not fully secured.

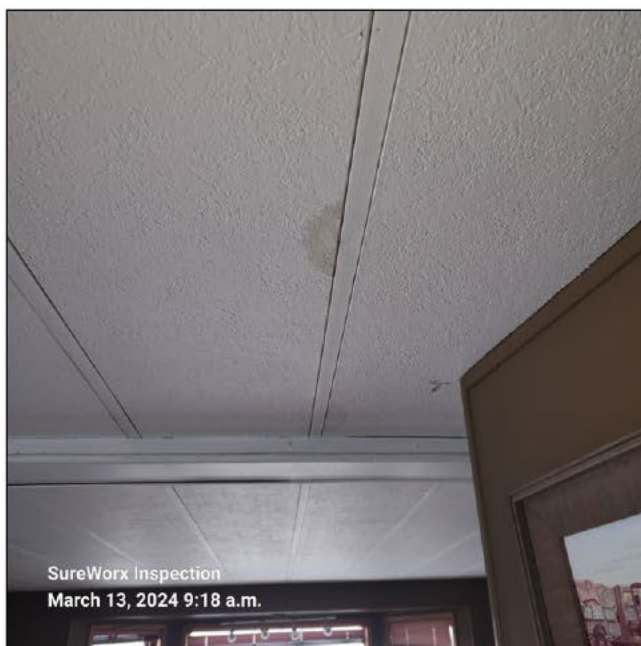


7.1 Item 1 (Picture)

7.2 Ceilings

Comments: Inspected

The ceiling in the dining room had signs of past leakage. This was due to an open vent above.



7.2 Item 1 (Picture)

7.3 Interior Doors and Trims

Comments: Inspected

7.4 Attached Cabinetry and Countertops and Built-in Attached Furnishings

Comments: Marginal

Cabinets were in general good condition. Kitchen cabinet drawer front was not installed.



7.4 Item 1 (Picture)

7.5 Windows (representative number)

Comments: Marginal

The primary bedroom west window was fogged.



7.5 Item 1 (Picture)

General Summary



SureWorx Inspection Services Inc.

**1606 9 ave SE
High River AB T1V 1P8
403 635-3637**

Customer

Bert & Caroline Vande Bruinhorst

Address

SW 4-16-24 W4
AB

1. Structure

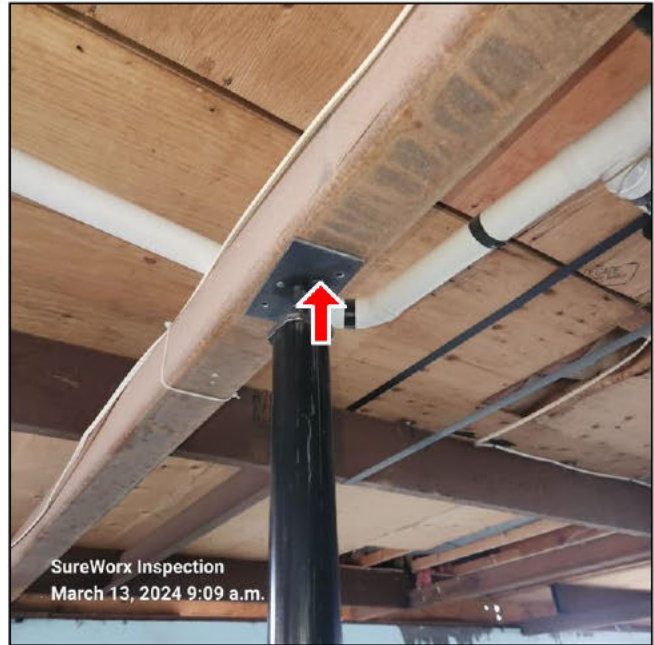
1.2 Columns and Beams

Marginal

(1) One post was not in place and the others were not fastened to the beam. I recommend completion of setting of posts.



1.2 Item 1 (Picture) Missing post

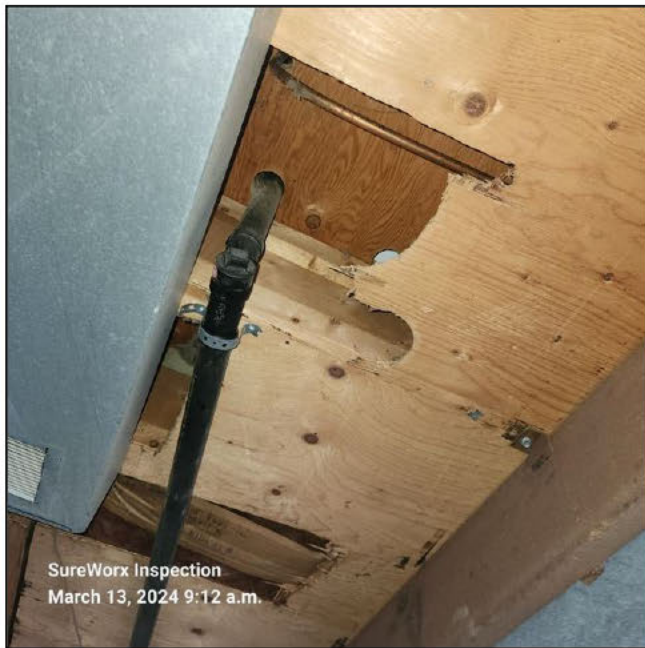


1.2 Item 2 (Picture) Not secured to beam.

1.4 Floor Structure

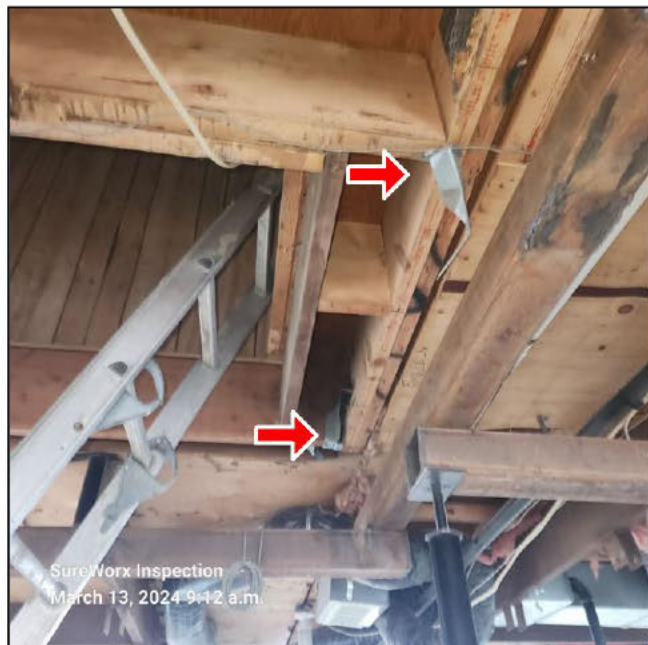
Repair or Replace

(1) Floor structure - good



1.4 Item 1 (Picture)

(2) The stairwell side joists had joist hangers that were removed. I recommend reinstalling.



1.4 Item 2 (Picture)

(3) Floors throughout the house were generally level, with one exception. The living room bay window floor was settled in the corner by approximately an inch. I recommend adding structural supports at the exterior below by a qualified contractor. Contractor may require engineered plans.



1.4 Item 3 (Picture)

2. Building Envelope

2.0 Exterior Walls

Marginal

(3) Bay window has a settled corner and needs to be supported.



2.0 Item 3 (Picture)

(4) Microbial growth of stub wall sheathing indicates missing top and bottom ledger board transition flashings. I recommend removal of damaged sheathing and proper installation of transition flashings.

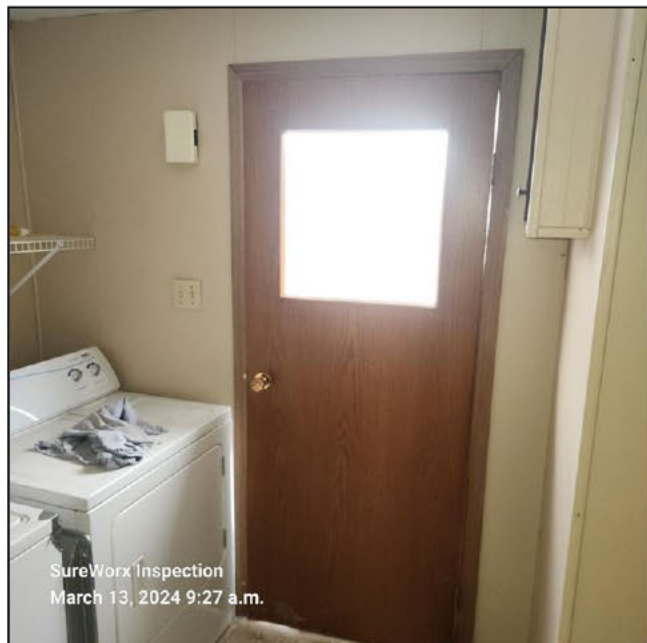


2.0 Item 4 (Picture)

2.1 Exterior Doors

Repair or Replace

(1) The exterior laundry room door was an interior door. I recommend installing an exterior rated door.



2.1 Item 1 (Picture)

(2) The dining room / deck exterior door windows were fogged. I recommend replacement of fogged glass.



2.1 Item 2 (Picture)

2.2 Exterior Windows and Skylights

Inspected

Windows exterior aluminium window frames were in good condition. Windows were manufactured in 1995.



2.2 Item 1 (Picture)

2.6 Roof - Flashing

Repair or Replace

(1) Roof flanges were not installed properly and will leak in time. I recommend installing flanges in lap fashion as per modern standards by a qualified metal roofing contractor.



2.6 Item 1 (Picture)

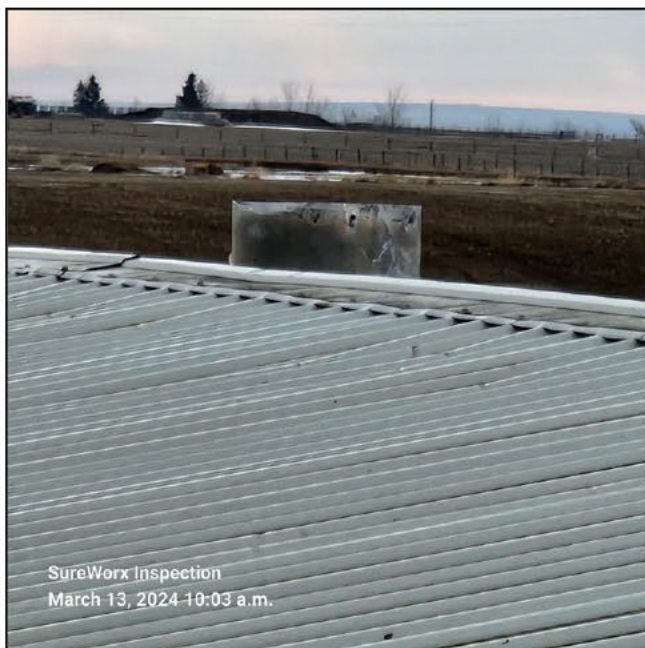


2.6 Item 2 (Picture)



2.6 Item 3 (Picture)

(2) Dents were observed in the metal panels. I recommend ensuring connections have not opened up. Repair as needed.



2.6 Item 4 (Picture)

7. Interior Finishes and Built-in or Attached Furnishings

7.5 Windows (representative number)

Marginal

The primary bedroom west window was fogged.



SureWorx Inspection
March 13, 2024 9:21 a.m.

7.5 Item 1 (Picture)

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Gerald de Kok

Electrical Issues



SureWorx Inspection Services Inc.

**1606 9 ave SE
High River AB T1V 1P8
403 635-3637**

Customer

Bert & Caroline Vande Bruinhorst

Address

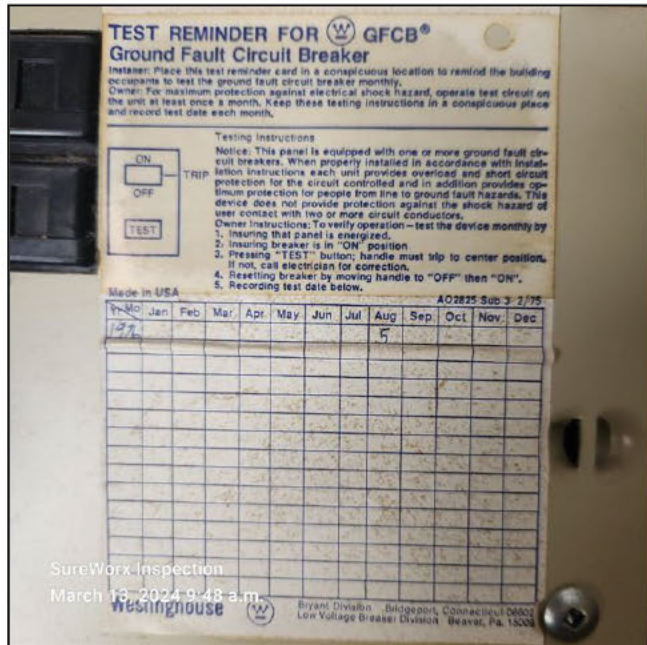
SW 4-16-24 W4
AB

5. Electrical Systems

5.1 General Electrical System Condition

Marginal

The electrical system is approximately 48 yrs old. I recommend a full evaluation and an upgrade by a qualified electrical contractor.



5.1 Item 1 (Picture)



5.1 Item 2 (Picture)

6. Life Safety Systems

6.0 Carbon Monoxide Detection

Repair or Replace

The home was not adequately alarm protected for carbon monoxide. I recommend that a interconnected carbon monoxide alarm be installed in or within 5 meters (16 feet) of each bedroom, and in or near each room containing a solid-fuel-burning appliance. Always follow manufacturers and local code requirements.

6.1 Smoke and Heat Detection

Repair or Replace

The home was not adequately alarm protected for smoke. I recommend that a interconnected smoke alarm be installed in each bedroom, the hallway serving a bedroom and on every level of the home. Smoke alarms should conform to local standards.

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Plumbing Issues



SureWorx Inspection Services Inc.

**1606 9 ave SE
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403 635-3637**

Customer

Bert & Caroline Vande Bruinhorst

Address

SW 4-16-24 W4
AB

3. Plumbing System

3.4 Exterior Plumbing (faucets, hydrants, pressure)

Not Inspected

Not that faucet seals may have deteriorated due to lack of use. Count on repair or replacement of fixtures.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Gerald de Kok

CANADIAN
HOME
MANUFACTURERS
ASSOCIATION

ASSOCIATION
CANADIENNE DES
MANUFACTURIERS
D'HABITATION



CERTIFIÉE

**Manu-
factured
Home**



**Maison
Fabriquée**

Based on the requirements of CSA Standard A277 and the National Building Code as detailed on the Specification Sheets inside the house.

CERTIFIED

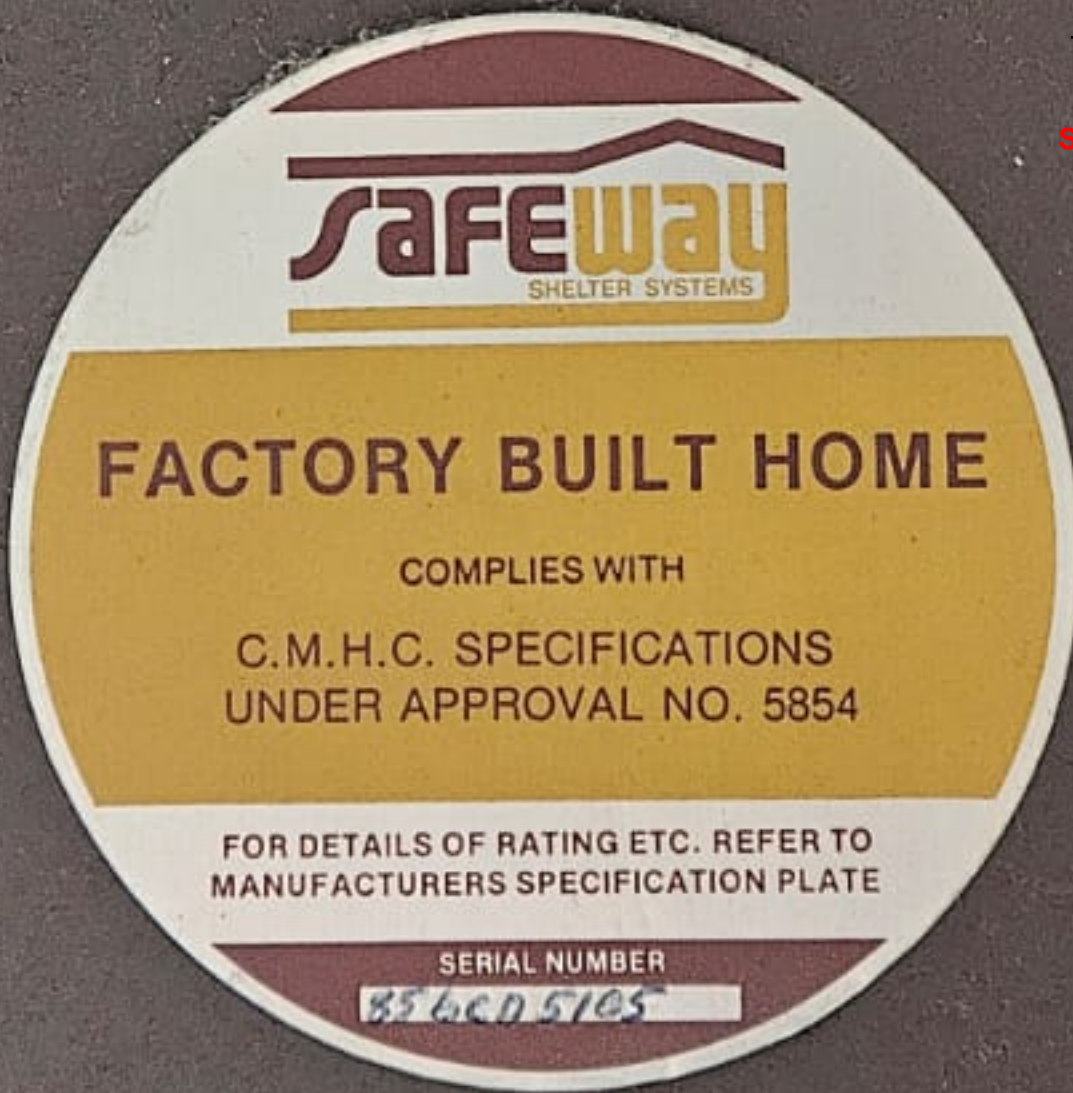
D'après les exigences de la norme ACNOR A277 et du Code National du Bâtiment, telles que détaillées sur les fiches techniques à l'intérieur de la maison.

ISSUE NO.
6091



February 12, 2024

Examined by
Daniel Milot D#10246
See Attached Permit Conditions



Handwritten labels on a yellow background:
- BEDROOM
- Utility Storage
- Kitchen Rec
- [unclear]
- Washer Rec



ALBERTA ELECTRICAL PROTECTION BRANCH
APPROVED D 040065
5705

SAFEWAY SHELTER SYSTEMS
SHELTER SYSTEMS LTD.
CLARESHOLM, ALBERTA
"CANADA'S FOREMOST NAME IN SHELTER"
Crawlspace
AL NO. 856 CD 5105 H/H

SUPERIOR SAFETY CODES INC.
PERMITS & INSPECTIONS

February 12, 2024

Examined by
Daniel Milot D#10246
See Attached Permit Conditions

NOVA LINE **NLC 24**
125 AMPS. 120/240 VAC
HANDLE IN MID POSITION INDICATES
BREAKER TRIPPED. TO RESET - MOVE
HANDLE TO EXTREME OFF POSITION.
NLC 24
125 AMPS. 120/240 VAC
NOVA LINE

WOOD FRAME

TYPE OF CONSTRUCTION/TYPE DE CONSTRUCTION

PLUMBING SYSTEM/SYSTEME DE PLOMBERIE

DWG. NOS./DESSINS NOS

SP-3752-75 SHEET 6

TYPE OF DWV SYSTEM
TYPE DU SYSTEME DWV

ABS

TYPE OF POTABLE WATER SYSTEM
TYPE DU SYSTEME D'EAU POTABLE

COPPER

POTABLE WATER TESTED AT 100 PSI FOR 2 HOURS

SYSTEME D'EAU POTABLE EPROUVE A LB/PO' HEURES

ELECTRICAL SYSTEM/SYSTEME ELECTRIQUE

DWG. NOS./DESSINS NOS

SP-3752-75 SHEET 6

120/240 VOLTS AC 60 CYCLE
120/240 VOLTS C.A. 60 CYCLES

100

AMPS
AMPERES

NO. OF ENERGIZED CIRCUITS
N. DE CIRCUITS SOUS TENSION

24

HEATING SYSTEM/SYSTEME DE CHAUFFAGE

DWG. NOS./DESSINS NOS

SP-3752-75 SHT. 1

FIELD INSTALLED/INSTALLE SUR LE SITE

NO

TYPE OF HEATING: OIL
TYPE DE CHAUFFAGE: HUILE

GAS
GAZ

ELECTRICAL
ELECTRICITE

FACTORY INSTALLED
INSTALLE EN USINE

YES

THIS HOUSE IS DESIGNED TO MEET HEAT LOSS REQUIREMENTS WITH AN AVERAGE INDOOR TEMPERATURE OF 72°F AT THE FOLLOWING OUTDOOR DESIGN TEMPERATURES:

CETTE MAISON EST CONCUE POUR SATISFAIRE AUX PRESCRIPTIONS DE PERTE DE CHALEUR A LA TEMPERATURE INTERIEURE MOYENNE DE 72°F ET AUX TEMPERATURES EXTERIEURES DE CALCUL SUIVANTES:

-52 °F WITH STORM SASH

°F AVEC DOUBLE CHASSIS

°F WITHOUT STORM SASH

°F SANS DOUBLE CHASSIS

DESIGN HEAT LOSS OF HOUSE 65,729 BTUH

PERTE DE CHALEUR CALCULEE DE LA MAISON BTUH

FURNACE OUTPUT 80,000 BTUH

DEBIT CALORIFIQUE DE LA FOURNAISE BTUH

NOTES:

1. THIS HOUSE IS NOT CERTIFIED FOR AREAS WHERE THE GROUND SNOW LOAD (AS SPECIFIED IN SUPPLEMENT NO. 1 TO THE NATIONAL BUILDING CODE) EXCEEDS THE GROUND SNOW LOAD SPECIFIED ABOVE.
2. THIS SPECIFICATION PLATE AND THE EXTERIOR CSA LABEL PROVIDES THE ONLY EVIDENCE OF CSA CERTIFICATION.
3. THIS CERTIFICATION DOES NOT COVER THE FOLLOWING: PREPARATION OF THE SITE, FOOTINGS OR FOUNDATIONS; INTERCONNECTION OF MODULES OR COMPONENTS ON SITE; COMPLETION OF THE STRUCTURAL, PLUMBING, ELECTRICAL AND HEATING SYSTEMS ON SITE; CONNECTION TO SERVICES AS SPECIFIED IN THE ELECTRICAL AND BUILDING PERMITS. ALL OF THE ABOVE ARE SUBJECT TO INSPECTION BY THE LOCAL AUTHORITY HAVING JURISDICTION.
4. REFER TO MANUFACTURER'S DATA PROVIDED WITH EACH HOME (IN KITCHEN DRAWER) FOR SPECIFIC COMPONENTS OR ITEMS WHICH ARE NOT COVERED BY INDIVIDUAL CERTIFICATION PROGRAMMES OR THIS CERTIFICATION PROGRAMME BUT WHICH MAY BE SHOWN (UNCHECKED) IN THE CSA REPORT FOR THE INFORMATION OF THE INSPECTOR.
5. FOR REPORT DETAILS, IF REQUIRED, LOCAL INSPECTORS MAY TELEPHONE THE CANADIAN STANDARDS ASSOCIATION, COLLECT. ASK FOR MANUFACTURED HOMES GROUP.
6. CSA CERTIFICATION IS AS NOTED ABOVE AND COVERS THE APPLIANCES DESCRIBED BELOW ONLY WHEN INSTALLED IN THE FACTORY.

NOTES:

1. CETTE MAISON N'EST PAS CERTIFIEE POUR DES REGIONS OU LA CHARGE DE NEIGE AU SOL (TEL QUE SPECIFIE AU SUPPLEMENT NO 1 DU CODE NATIONAL DU BATIMENT) EXCEDE LA CHARGE SPECIFIEE CI-DESSUS.
2. LA PLAQUE DE CERTIFICATION ET L'ETIQUETTE ACNOR PLACEE A L'EXTERIEUR SONT LES SEULES PREUVES DE CERTIFICATION ACNOR.
3. CETTE CERTIFICATION NE COUVRE PAS CE QUI SUIT: PREPARATION DU SITE, DES FONDATIONS OU EMPATTEMENT; MONTAGE DES MODULES OU ELEMENTS SUR LE SITE; ACHÈVEMENT DES SYSTEMES DE CHARPENTE, DE PLOMBERIE, DE CHAUFFAGE ET D'ELECTRICITE SUR LE SITE; RACCORDEMENT AUX SERVICES PUBLICS, TEL QUE SPECIFIE AUX PERMIS D'ELECTRICITE ET DE CONSTRUCTION. TOUT CE QUI PRECEDE DOIT FAIRE L'OBJET D'INSPECTION PAR LES AUTORITES COMPETENTES LOCALES.
4. SE REFERER AUX DONNEES DU FABRICANT FOURNIES AVEC CHAQUE MAISON (DANS UN TIROIR DE CUISINE) POUR LES COMPOSANTS SPECIFIQUES NON COUVERTS PAR DES PROGRAMMES DE CERTIFICATION INDIVIDUELS OU CE PROGRAMME DE CERTIFICATION, MAIS POUVANT ETRE INDIQUEES (SANS VERIFICATION) AU RAPPORT ACNOR POUR L'ENFORMATION DE L'INSPECTEUR.
5. POUR DES DETAILS DU RAPPORT, AU BESOIN, LES INSPECTEURS LOCAUX PEUVENT TELEPHONER A L'ASSOCIATION CANADIENNE DE NORMALISATION, FRAIS VIRES. DEMANDER LE GROUPE DES MAISONS FABRIQUEES.
6. LA CERTIFICATION ACNOR EST TELLE QUE SPECIFIEE CI-DESSUS ET COUVRE LES APPAREILS DECRITS CI-DESSOUS ET INSTALLES SEULEMENT EN USINE.

FACTORY INSTALLED APPLIANCES/APPAREILS INSTALLES EN USINE

NOTE: NA MUST BE MARKED IF APPLIANCE NOT SUPPLIED.

NOTE: "NF" DOIT ETRE INSCRIT SI L'APPAREIL N'EST PAS FOURNI.

	MAKE MARQUE	MODEL MODELE	FUEL (NATURAL GAS, PROPANE GAS, OIL OR ELECTRIC) COMBUSTIBLE (GAZ NATUREL, GAZ PROPANE, HUILE OU ELECTRICITE)	
1. FURNACE	BEATCH.	MGP-80P	serial No. 57794.	FOURNAISE
2. WATER HEATER				CHAUFFE-EAU
3. RANGE	ADMIRAL	E3676GP.	Serial No 607327.	CUISINIERE
4. DRYER				SECHEUSE
5. WASHER				LAVEUSE
6. CHIMNEY				CHEMINEE
7. OTHER FRIDGE DISHWASHER	ADMIRAL ADMIRAL	BT376LG. DU2466	(TYPE) Serial No: 771110 serial No: 1179530.	AUTRE

ISSUE NO. 4204



February 12, 2024

[Signature]

Examined by Daniel Milot D#10246 See Attached Permit Conditions

MANUFACTURER/FABRICANT SAFEGWAY SHELTER SYSTEMS LTD.
 CLARESHOLM, ALBERTA
 FACTORY ADDRESS/ADRESSE DE L'USINE
 MODEL NO./NO DE MODELE 856-C SERIAL NO./NO DE SERIE 856CD5105 LABEL NO./ETIQUETTE NO 6091
 PROVINCE OF DESTINATION/PROVINCE DE DESTINATION

STRUCTURAL SYSTEM/SYSTEME DE CHARPENTE SP-3752-75
 DWG. NOS./DESSINS NOS
 GROUND SNOW LOAD 80 PSF DESIGN SNOW LOAD 48 PSF ATTIC LOAD _____ PSF
 CHARGE DE NEIGE AU SOL LB/PI' CHARGE DE NEIGE CALCULEE LB/PI' CHARGE DES COMBLES LB/PI'
 TYPE OF CONSTRUCTION/TYPE DE CONSTRUCTION WOOD FRAME

PLUMBING SYSTEM/SYSTEME DE PLOMBERIE SP-3752-75 SHEET 6
 DWG. NOS./DESSINS NOS
 TYPE OF DWV SYSTEM ABS TYPE OF POTABLE WATER SYSTEM COPPER
 TYPE DU SYSTEME DWV TYPE DU SYSTEME D'EAU POTABLE
 POTABLE WATER TESTED AT 100 PSI FOR 2 HOURS SYSTEME D'EAU POTABLE EPROUVE A _____ LB/PO' _____ HEURES

ELECTRICAL SYSTEM/SYSTEME ELECTRIQUE SP-3752-75 SHEET 6
 DWG. NOS./DESSINS NOS
 120/240 VOLTS AC 60 CYCLE 100 AMPS NO. OF ENERGIZED CIRCUITS 24
 120/240 VOLTS C.A. 60 CYCLES AMPERES N. DE CIRCUITS SOUS TENSION

HEATING SYSTEM/SYSTEME DE CHAUFFAGE
 DWG. NOS./DESSINS NOS SP-3752-75 SHT. 1 FIELD INSTALLED/INSTALLE SUR LE SITE NO
 TYPE OF HEATING: OIL _____ GAS _____ ELECTRICAL _____ FACTORY INSTALLED _____ YES
 TYPE DE CHAUFFAGE: HUILE _____ GAZ _____ ELECTRICITE _____ INSTALLE EN USINE _____

THIS HOUSE IS DESIGNED TO MEET HEAT LOSS REQUIREMENTS WITH AN AVERAGE INDOOR TEMPERATURE OF 72°F AT THE FOLLOWING OUTDOOR DESIGN TEMPERATURES:

-52 °F WITH STORM SASH
 _____ °F WITHOUT STORM SASH
 DESIGN HEAT LOSS OF HOUSE 65,729 BTUH
 FURNACE OUTPUT 80,000 BTUH

CETTE MAISON EST CONCUE POUR SATISFAIRE AUX PRESCRIPTIONS DE PERTE DE CHALEUR A LA TEMPERATURE INTERIEURE MOYENNE DE 72°F ET AUX TEMPERATURES EXTERIEURES DE CALCUL SUIVANTES:

_____ °F AVEC DOUBLE CHASSIS
 _____ °F SANS DOUBLE CHASSIS
 PERTE DE CHALEUR CALCULEE DE LA MAISON _____ BTUH
 DEBIT CALORIFIQUE DE LA FOURNAISE _____ BTUH

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	MAKE MARQUE	MODEL MODELE	FUEL (NATURAL GAS, PROPANE GAS, OIL OR ELECTRIC) COMBUSTIBLE (GAZ NATUREL, GAZ PROPANE, HUILE OU ELECTRICITE)	
1. FURNACE	<u>BELTCH.</u>	<u>MGP-80P</u>	<u>serial No: 57794.</u>	FOURNAISE
2. WATER HEATER				CHAUFFE-EAU
3. RANGE	<u>ADMIRAL</u>	<u>E-3676GP.</u>	<u>Serial No 607327.</u>	CUISINIERE
4. DRYER				SECHEUSE
5. WASHER				LAVEUSE
6. CHIMNEY				CHEMINEE
7. OTHER <u>BRIDGE</u> <u>DISHWASHER</u>	<u>ADMIRAL.</u> <u>ADMIRAL.</u>	<u>BT376LG.</u> <u>DU2466</u>	<u>(TYPE) Serial No: 77110.</u> <u>serial No: 1179530.</u>	AUTRE

ISSUE NO. 4204



February 12, 2024

[Signature]

Examined by
 Daniel Milot D#10246
 See Attached Permit Conditions

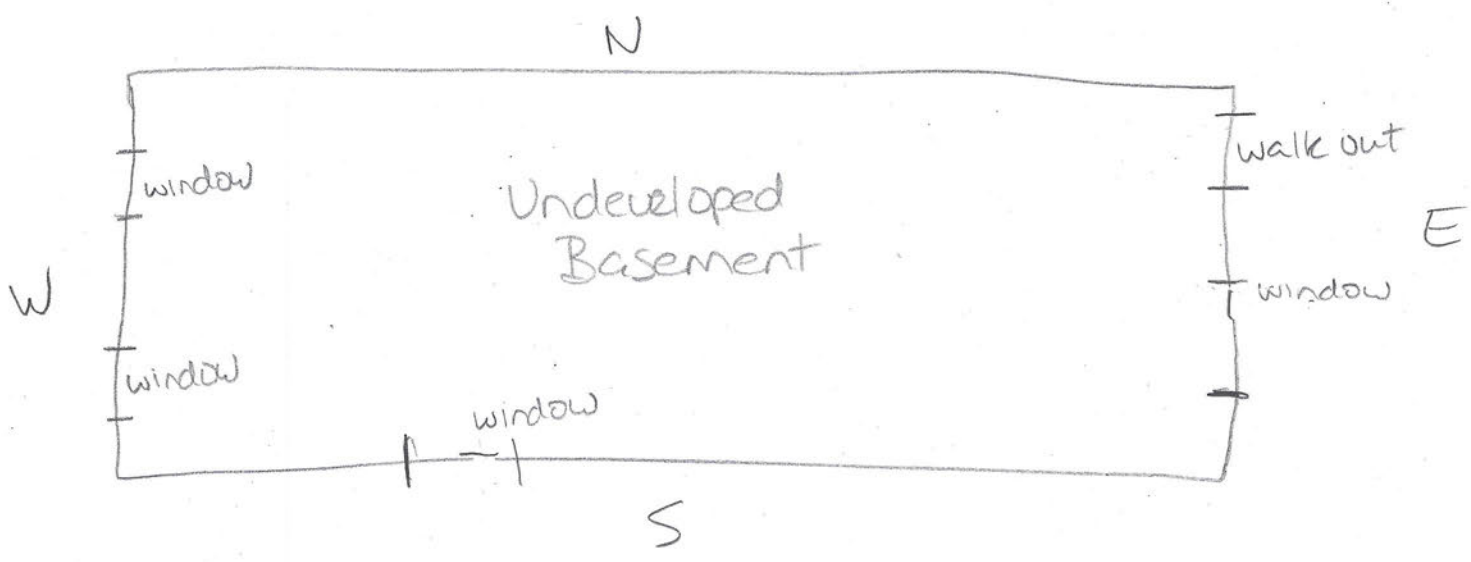
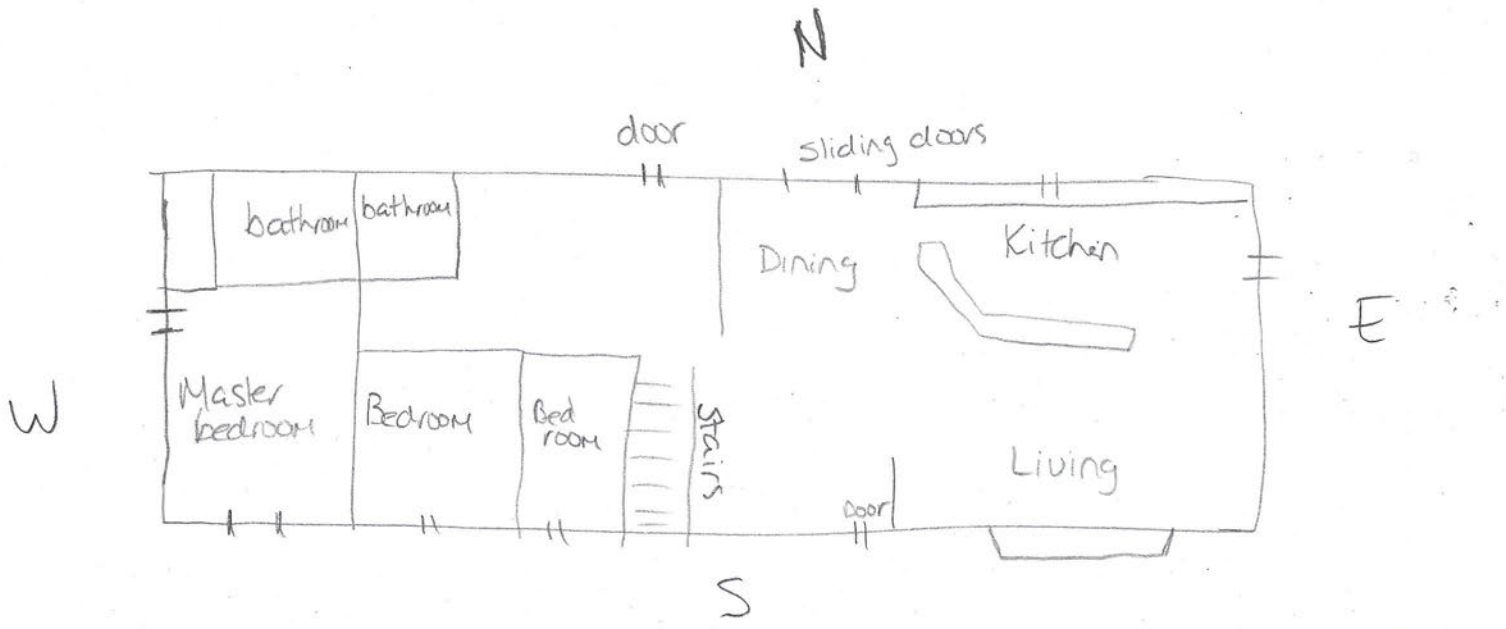


February 12, 2024

A handwritten signature in black ink, appearing to read 'D Milot', is enclosed within a white rectangular box.

Examined by
Daniel Milot D#10246
See Attached Permit Conditions





SUPERIOR
SAFETY CODES INC.
PERMITS & INSPECTIONS

February 12, 2024

Examined by
Daniel Milot D#10246
See Attached Permit Conditions



25, 2015-32 Avenue NE
 Calgary, AB T2E 6Z3
 Ph. 403.717.2344 or 1.888.717.2344
 Fax 403.717.2340 or 1.888.717.2340

BUILDING PERMIT

Permit No.: 334SSC-24-B0001
Agency File No.: CVC B 0001 24 CA
Issue Date: Feb 12, 2024
Development Permit No.: 01-2023
Planned Expiry Date: Feb 11, 2026

Applicant

Name: Caleb Vande Bruinhorst
 Address: PO BOX [REDACTED]
 Champion, ALBERTA
 TOL ORO
 Phone: [REDACTED]
 Cell: [REDACTED]
 Fax: [REDACTED]
 Email: eweniquefarms@gmail.com

Contractor

Name:
 Address:
 Phone:
 Cell:
 Fax:
 Email:

Owner

Name: Caleb Vande Bruinhorst
 Address: PO BOX [REDACTED]
 Champion, ALBERTA
 TOL ORO
 Phone: [REDACTED]
 Cell: [REDACTED]
 Fax: [REDACTED]
 Email: eweniquefarms@gmail.com

Address in VULCAN COUNTY

VULCAN COUNTY
 L:1 P:8811438
 Q:SW S:4 T:16 R:24 M:W4;

Description of Work: **Mobile Home placement on ICF basement (not developed)**

Serial # 856C05101

Project Type: **Installation of a pre-fabricated building**
 Person Performing Work: **Homeowner/Owner**
 Classification: **Residential occupancies**
 Building Area (footprint): **1350.00 Square Feet**
 Height: **1.00 storey(s)**
 Value (Materials and Labour): **\$50,000.00**

General Permit Conditions:

Minimum number of inspections required: Foundation, Framing, structure, Final

To request an inspection, contact Superior Safety Codes at 1.888.717.2344 or go online to <https://secure.superiorsafetycodes.com/requests>

Permit Fee	\$472.50	
Sub-total	\$472.50	
SCC Levy	\$18.90	
GST	\$0.00	
Total	\$491.40	Balance Owing: \$491.40

Liza Proulx

Digitally signed by: Liza Proulx

Issued By:

Liza Proulx
 SCO Number: 242865
 P00010180

Issued By:

Superior Safety Codes Inc.
 100, 14535 118 Ave NW
 Edmonton, Alberta
 T5L 2M7
 Ph: (780)489-4777
 Fax: (780)489-4711
 Toll Free: (866)999-4777

Municipality:

VULCAN COUNTY
 Box 180
 Vulcan, Alberta
 TOL 2B0
 Ph: (403)485-2241
 Fax: (403)485-2920
 Toll Free:

The personal information provided as part of this application is collected under section 43 of the Safety Codes Act and sections 303 and 295 of the Municipal Government Act and in accordance with section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, safety codes compliance verification and monitoring and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact Vulcan County at (403)485-2241.





P.O. BOX 180
VULCAN, ALBERTA
T0L 2B0

TELEPHONE: 1-403-485-2241
TOLL FREE: 1-877-485-2299
FAX: 1-403-485-2920
www.vulcancounty.ab.ca

Bert Vande Bruinhorst
PO Box [REDACTED]
Champion, AB T0L 0R0

February 13, 2023

Re: Development Permit 01-2023

Dear Applicant,

Vulcan County has approved your development permit application for a Single Detached Dwelling on Plan 8811438, Lot 1; your enclosed permit will take effect after **21 days – March 7, 2023.**

As per *Alberta Municipal Government Act [Section 685]* you are eligible to appeal the conditions of the approval from the Development Authority. The appeal can be made in writing to the Secretary of the Chinook Intermunicipal Subdivision and Development Appeal Board and must contain the reasons for your appeal. The written appeal, along with the \$600 appeal fee can be mailed to the address at the top of the page or dropped off to the County Office at 102 Centre Street in Vulcan. The appeal period ends on **March 6, 2023**, any appeal must be received by the Vulcan County before this deadline.

Please read all the conditions of the permit carefully as you will be required to comply with all of them. Note, this is **not** a building permit; you will need to contact Park Enterprises Ltd. – Lethbridge at (403) 329-3747 or email: contact@parkinspections.com for any safety permits and inspections required (building, electrical, gas, plumbing, sewage).

If you have any questions, please contact me at (403)485-3135 or email devassist@vulcancounty.ab.ca.

Kindest regards,

Alena Matlock
Development Officer
Vulcan County



February 12, 2024

Examined by
Daniel Milot D#10246
See Attached Permit Conditions



**DEVELOPMENT PERMIT
01-2023**

Development Permit 01-2023 for a **Single Detached Dwelling** in Rural General on Plan 8811438, Lot 1 as applied for by Bert VandeBruinhorst has been:

- () APPROVED
- (x) APPROVED, subject to the following conditions:

1. No Development authorized by this Development Permit shall commence:
 - a. Until at least 21 days after the issue of the Development Permit, or
 - b. If an appeal is made, until the appeal is decided on
2. The minimum/maximum requirements for all setbacks, as established in Land Use Bylaw 2020-028 are met.
3. This is not a building permit, all Permits as required under the Safety Codes Act and its regulations shall be obtained and a copy of the Building Permit and any other required Safety Code Act approvals or permits shall be submitted to the County.
4. The applicant is solely responsible to obtain and comply with any other required Municipal, Provincial or Federal government permits, approvals, or licenses.
5. That the applicant enters into an Approach Agreement with Vulcan County.
6. That the driveway to the new dwelling be improved to the standard outlined in Vulcan County's Private Driveway Policy 32-1012.
7. This Development Permit is valid for 12 months from the date of issue unless the Municipal Planning Commission has extended the term of the Development Permit in accordance with the Land Use Bylaw.

If approved, you are hereby authorized to proceed with the specified development after 21 days of the issuance of this permit, provided that any stated conditions are complied with, and the development is in accordance with any approved plans and application.

Should an appeal be made against this decision to the Chinook Intermunicipal Subdivision and Development Appeal Board, this Development Permit shall be null and void. The appeal would be governed by By-law 2021-012.

Signature of Development Officer



February 12, 2024

Examined by
Daniel Milot D#10246
See Attached Permit Conditions

February 13, 2023

Date of Decision

NOTE: THIS IS NOT A BUILDING PERMIT.

NOTE: FAILURE TO COMPLY WITH THE CONDITIONS OF THIS PERMIT WILL RESULT IN PUNITIVE ACTION BEING TAKEN BY THE DEVELOPMENT OFFICER AS AUTHORIZED BY SECTIONS 557, 566 AND 646 OF THE MUNICIPAL GOVERNMENT ACT.

NOTE: A DEVELOPMENT PERMIT LAPSES AND IS AUTOMATICALLY VOID IF DEVELOPMENT AUTHORIZED IS NOT COMMENCED WITHIN TWELVE (12) MONTHS OR COMPLETED TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY WITHIN TWENTY-FOUR (24) MONTHS FROM THE DATE OF ISSUING THE PERMIT. THE DEVELOPMENT AUTHORITY MAY, AT ITS DISCRETION, APPROVE EXTENSIONS TO THESE TIME LIMITS.

APPEAL PROCEDURE

The Land Use Bylaw provides that any person claiming to be affected by the decision may appeal to the Secretary of the Chinook Intermunicipal Subdivision and Development Appeal Board **WITHIN 21 DAYS AFTER NOTICE OF THE DECISION IS GIVEN.** Contact the Development Officer (403-485-2241) for more information.



APPLICATION FOR DEVELOPMENT PERMIT

OFFICE USE ONLY table with fields: Application No. (01-2023), Roll No. (241604222), Deemed Complete (Yes), Date of Completion (7 Feb 2023), Date Received (7 Feb 2023), Division (3), Land Use District (Rural General), Application Fee (\$150.00), Fire Dept. (Vulcan), Use (Single Detached), Date Application Fee Received (7 Feb 2023), Gas Coop (Sunshine), Land Title Verified (Yes).

1) APPLICANT AND LAND INFORMATION

Applicant Name: Albertus (Bert) VandeBruinhorst
Phone: [Redacted] Email: ewenique-farms@gmail.com
Mailing Address: Box [Redacted] Champion, TOLERO

IF APPLICANT IS NOT THE REGISTERED OWNER

Applicant's Interest In Property [] Agent [] Contractor [] Tenant [] Other: _____

Registered Owner's Name: _____
Phone: _____ Email: _____
Mailing Address: _____

Quarter: SW Section: 4 Township: 16 Range: 24 W4M
Plan: 8811438 Block: _____ Lot: 1
Municipal Street Address (If Applicable): _____
Parcel Area Acres: 5 Hectares: _____

Existing Development

Please detail existing buildings, structures, uses, and improvements existing on the parcel.
(If they will be altered as part of this application, please detail the improvements)

Large empty box for detailing existing development, containing the handwritten word 'None'.



February 12, 2024

[Signature]

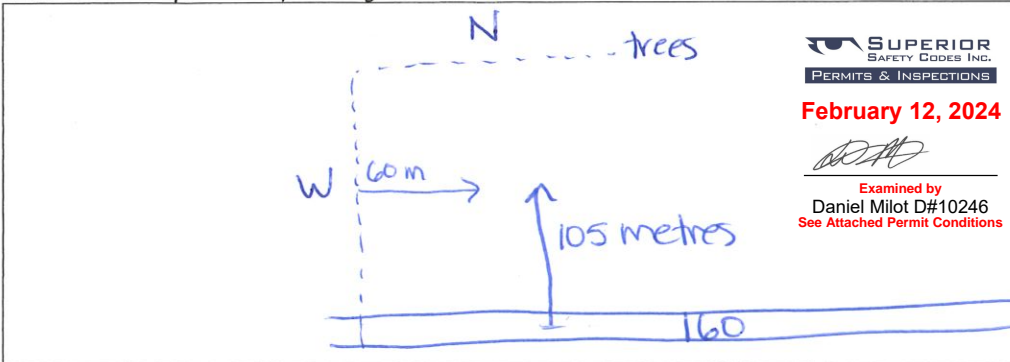
Examined by Daniel Milot D#10246 See Attached Permit Conditions



2) DEVELOPMENT DETAILS

Proposed Development

Please detail the proposed development including uses, buildings, structure, and any other planned renovations or improvements; including the dimensions of each.



Estimated Commencement Date: Sept 2023 Estimated Completion Date: Dec 31, 2023

Estimated cost of the project (\$): 180,000

For **residential** developments please check all applicable boxes below:

- Single detached dwelling (cabin) or
- Semi-detached dwelling
- Ready-to-move home (new)
- Moved-in dwelling (previously occupied)
- Modular home
- Manufactured home 1 (new)
- Manufactured home 2 (previously occupied)
- Accessory building to approved use
- Accessory building prior to principal building
- Other:

3) Other

Access

- Is the parcel adjacent to an existing developed roadway? Yes No
- Is the parcel currently subject to an Approach Agreement with Vulcan County? Yes No

Servicing

- Please indicate how the proposed development will be serviced
- Water Supply**
- Cistern Well Dugout Coop
- Sewer Servicing**
- Septic Tank Septic Field Communal
- Other: _____

Location

- Please indicate if any of the following are within 1.6 km (1 mile) of the proposed development
- Provincial Highway Confined Feeding Operation Sour gas well or pipeline
 - Sewage Treatment Plant Waste Transfer Station or Landfill River or Waterbody
- Please indicate if any of the following are within 800m (1/2 mile) of the proposed development
- Slope of 15% or greater Existing multi-lot residential subdivision



4) Declaration

I/We have read and understand the terms noted below and hereby apply for a development permit to carry out the development described within this application including any attached forms, plans, and documents.

I/We hereby certify that all plans and information submitted are, to the best of my knowledge, true and correct.

I/We hereby certify that the registered owner of the land is aware of and in agreement with this application.

I/We hereby give consent to allow authorized persons the right to enter the subject land and/or building(s) for the purpose of an inspection with respect to this application.



February 12, 2024

Date: Jan 13, 2022 Applicant's Signature: [Signature]

Date: _____ Registered Owner's Signature: _____
(Required If Different from Applicant)

[Signature]
Examined by
Daniel Milot D#10246
See Attached Permit Conditions

5) Development Permit Process

1. The Development Permit Application is to be submitted along with the application fee as described in the Fees for Service Bylaw and any additional information as indicated in Appendix A.
2. The County office will then notify adjacent landowners and may place an ad in the Vulcan Advocate respecting the proposed development.
3. You will receive a copy of the Notice of Decision and Development Permit Application in the mail dated the day the Development Permit was approved, although the Development Permit is not valid until 21 days after the Date of Issue of Notice of Decision.
4. The Development Permit is subject to all conditions specified on the Development Permit.
5. After the advertisement period a copy of the Development Permit and Notice of Decision will be sent to all relevant stakeholders which may require a copy of the approved development permit.
6. If your application has been refused or approved subject to conditions set forth by the Development Authority, you can appeal the decision to the **SUBDIVISION AND DEVELOPMENT APPEAL BOARD** or **LAND AND PROPERTY RIGHTS TRIBUNAL**, as specified on in the Development Permit or Notice of Refusal. If an applicant wishes to appeal the decision, a written notice of appeal must be served to the Vulcan County Planning and Development Department **within 21 days of the Date of Issue of Notice of Decision**. Vulcan County's Planning and Development Department will then forward the appeal to the relevant appeal body. Appeals may be mailed to:

VULCAN COUNTY PLANNING AND DEVELOPMENT
180 VULCAN, ALBERTA T0L 2B0
Phone 403-485-2241 Fax 403-485-2920



P.O Box 180, 102 Centre Street
Vulcan, AB
T0L 2B0

RECEIPT NO: 144910

VANDE BRUINHORST, ALBERTUS

PO BOX [REDACTED]

CHAMPION, AB T0L 0R0

Page: 1
Date: 01/02/2023
GST #: 106989486

	Account	Description	Amount
General	016	DEVELOPMENT FEES & PERMITS	\$150.00



February 12, 2024

[Signature]

Examined by
Daniel Milot D#10246
See Attached Permit Conditions

Thank you for your Payment.

Cash	\$0.00		GST	\$0.00
Cheque	\$150.00	Cheque #: 2056		
Other	\$0.00			
Debit Card	\$0.00		Total	\$150.00

=====**G13**=====

Building Permit Application

PERMITS & INSPECTIONS

Separate permit applications are required for: Electrical Plumbing Gas PSDS

New Home Buyer Protection Act Registration # (NHBPA): _____ Builders' License #: _____

Permit Type: Owner Contractor Development Permit Number: 01-2023

Application Date (M/D/Y): December 5, 2023 Estimated Completion Date (M/D/Y): January 15, 2024

Owner: Caleb Vande Bruinhorst Mailing Address: PO Box [REDACTED]
City: Champion Prov.: AB Postal Code: TOL 0R0 Phone: [REDACTED]
Cell Number: [REDACTED] Email Address: eweniquetfarms@gmail.com Fax: _____

Contractor: N/A Mailing Address: _____
City: _____ Prov.: _____ Postal Code: _____ Phone: _____
Cell Number: _____ Email Address: _____ Fax: _____

Project Location: Name of Municipality: Vulcan County
Street or Rural Address: _____ Subdivision or Hamlet Name: _____
Unit or Suite #: _____ Lot: 1 Block: _____ Plan: 8811438 Tax Roll #: 241604222
Legal Subdivision: Part of: SW ¼ Sect: 4 Twp: 16 Rge: 24 W of: 4
Directions: west on TWRD 160 off highway 23

Architect and/or Engineer (if applicable): N/A Phone: _____

Project Information: Commercial Residential Multi Family Industrial Institutional Oil & Gas
Type of Work: New Renovation Addition Accessory Building Basement Dev. Manufactured Home RTM (Ready to Move)
 Secondary Suite Change of Occupancy Wood Stove Deck Demolition Other _____
 sq. m. sq. ft. No. of Stories: _____ Building Classification: _____
Main Area: 1350
2nd Floor Area: _____
Basement Area: 1350
Developed Yes No
Garage Area: _____
 Detached Attached

Detailed Description of Work and/or intended use or occupancy of the building:
ICF basement Built in 1980s
mobile home on ICF basement (not developed)
CSA # 6091 SERIAL# 85605101

Permit Applicant Declaration: The permit applicant certifies that this installation will be completed in accordance with the Alberta Safety Codes Act and Regulations. The personal information provided as part of this application is collected under the Safety Codes Act and the Municipal Government Act and in accordance with the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, safety codes compliance verification and monitoring and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact the municipality.

Caleb Vande Bruinhorst Permit Applicant Name (Please print) [Signature] Permit Applicant Signature [Signature] Homeowner's Signature (Homeowner permits only)

Project Value (Materials & Labour): \$ 50,000.00 Total Developed Area: 1350 Sq. Ft
Permit Fee: \$ 472.50 *SCC Levy: \$ 18.90 TOTAL FEE: \$ 491.40
*SCC Levy is 4% of the permit fee with a minimum of \$4.50 and a maximum of \$560
Payment Method: Visa M/C Debit Cheque Cash Authorization / Cheque Number: 097831
Credit Card #: _____ Expiry Date: 04/25 Date of Authorization: _____
Name of Cardholder: C Vande Bruinhorst Signature of Cardholder: [Signature]

Permit Validation Section to be completed by the Building Safety Codes Officer: Inspecting SCO: _____
Permit Conditions: Daniel Milot Daniel Milot
SCO's Name (print or type) Daniel Milot SCO's Signature [Signature]
SCO's Designation Number D #10246 Date of Issue (M/D/Y): February 12, 2024

Calgary	25, 2015 - 32 Avenue NE	T2E 6Z3	Ph: 403.717.2344	Toll Free Ph: 1.888.717.2344	Fax: 403.717.2340	Toll Free Fax: 1.888.717.2340
Edmonton	100, 14535 - 118 Avenue	T5L 2M7	Ph: 780.489.4777	Toll Free Ph: 1.866.999.4777	Fax: 780.489.4711	Toll Free Fax: 1.866.900.4711
Lethbridge	422 North Mayor Magrath Dr.	T1H 6H7	Ph: 403.320.0734	Toll Free Ph: 1.877.320.0734	Fax: 403.320.9969	
Lloydminster	Unit 2, 1724 - 50 Avenue	T9V 0Y1	Ph: 780.870.9020		Fax: 780.870.9036	
Red Deer	264 - 7A Street	T4P 3E8	Ph: 403.358.5545	Toll Free Ph: 1.888.358.5545	Fax: 403.358.5085	Toll Free Fax: 1.866.358.5085

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PERMITS & INSPECTIONS

All items on the Plans Examination Report must be addressed and the Plans Examination Report should be read in its entirety. Ensure the contractor receives a copy of this Plans Examination Report.

Issue Date: **February 12, 2024** File No.: **CVC B 0001 24 CA** Expiry Date: **February 11, 2026**

Permit No.: **334SSC-24-B0001** Development Permit: **01-2023** NHBPA No.: **N/A**
 Applicant: **Caleb Vande Bruinhorst** Phone: **[REDACTED]**
 Address: **Box [REDACTED]** Fax: **[REDACTED]**
Champion, Alberta Cell: **[REDACTED]**
 Postal Code: **T0L0R0**

Owner: **Same as Applicant** Phone: **[REDACTED]**
 Address: **[REDACTED]** Fax: **[REDACTED]**
 Cell: **[REDACTED]**
 Postal Code: **[REDACTED]**

Contractor: **Same as Applicant** Phone: **[REDACTED]**
 Address: **[REDACTED]** Fax: **[REDACTED]**
 Cell: **[REDACTED]**
 Postal Code: **[REDACTED]**

Project Location:
 Rural Address: **West on Twn Rd 160 off of Highway 23**
 Municipality: **Vulcan County, Alberta**
 Legal Address: Lot: **1** Block: **[REDACTED]** Plan: **8811438**
 Legal Address: **SW** ¼ Sec: **4** Twp: **16** Rge: **24** West of **4 M**

Building Classification
 Part 9 Group C - Residential

Building Area: **125.41 m²** Building Height: **One Storey Basement** Facing **One** Street(s)

Inspections Required

- | | | |
|---|---|--|
| <input checked="" type="checkbox"/> Foundation | <input checked="" type="checkbox"/> Framing (Basement Development) | <input checked="" type="checkbox"/> Final |
| Complete Before Backfill | Rough-In Plumbing/Electrical/ HVAC | Complete Before Occupancy |
| | Complete Before Drywall | |

The inspections indicated above are mandatory to ensure compliance with the Safety Codes Act. To call for the required inspections, please contact Superior Safety Codes in **Calgary**, at **1-888-717-2344**. Please allow for two days notice on any inspections.

GENERAL CONDITIONS:

- All municipal zoning and development requirements are satisfied.
- All work, materials, and administration of construction, will comply with the National Building Code - Alberta Edition 2019.
- All requirements of the Plumbing and Gas, Boilers, Elevators, Fire, Electrical Safety Services and other authorities will be met where applicable.
- Construction must begin within 90 days of permit issuance.
- Construction may not be abandoned for more than 120 days without prior written notification submitted to this office.

****PLEASE POST THE BUILDING PERMIT PLACARD IN AN OBVIOUS LOCATION VISIBLE AT THE SITE ENTRANCE****

<input checked="" type="checkbox"/> Calgary	25, 2015 – 32 Avenue NE	T2E 6Z3	Ph: 403.717.2344	Toll Free Ph: 1.888.717.2344	Fax: 403.717.2340	Toll Free Fax: 1.888.717.2340
<input type="checkbox"/> Edmonton	14613 – 134 Avenue	T5L 4S9	Ph: 780.489.4777	Toll Free Ph: 1.866.999.4777	Fax: 780.489.4711	Toll Free Fax: 1.866.900.4711
<input type="checkbox"/> Red Deer	3, 6264 – 67A Street	T4P 3E8	Ph: 403.358.5545	Toll Free Ph: 1.888.358.5545	Fax: 403.358.5085	Toll Free Fax: 1.866.358.5085
<input type="checkbox"/> Lethbridge	422 North Mayor Magrath Drive	T1H 6H7	Ph: 403.320.0734	Toll Free Ph: 1.877.320.0734	Fax: 403.320.9969	
<input type="checkbox"/> Lloydminster	Unit 2, 1724 – 50 Avenue	T9V 0Y1	Ph: 780.870.9020		Fax: 780.870.9036	

The following list of general requirements are minimum construction guidelines that apply to most conventional constructions. Please review the list and pay special attention to the comments.

NOTE: All code references are to Division B of the National Building Code - Alberta Edition 2019, unless otherwise stated. Note that the Articles are only brief descriptions, and do not list all exceptions.

Owner/Contractor Responsibilities

- Article 2.2.11.2.(C) The owner is to ensure that no unsafe condition exists or will exist because of construction work or work being completed should occupancy occur before the completion of the construction work.
- Article 2.2.12.1.(C) No person is to fail to complete construction, or demolition, that is regulated by this Code and is shown on the plans, specifications and documents before occupying a building without first having obtained permission from the Authority Having Jurisdiction.
- Article 2.2.13.5.(C) If required by the Authority Having Jurisdiction, an owner is to have uncovered and replaced at their own expense any construction that has been covered contrary to an order or condition of a permit issued .

Radon Gas

- Article 9.13.4.3. **Building code requirements aim to ensure a basic level of protection for all houses by providing for a subfloor depressurization system rough-in. These requirements will mitigate the soil gas risks in buildings should they have radon after construction and a complete gas extraction system is required to be provided.* These following requirements are a minimum level of safety as deemed by Health Canada:**
 - Unless the space between the air barrier system and the ground is designed to be accessible for the future installation of a subfloor depressurization system, the dwelling is to provided with the rough-in for a radon extraction system.
 - Floors-on-ground (basement slabs/slabs-on-grade), are to be provided with a rough-in for subfloor depressurization consisting of:
 - a) a gas-permeable layer, an inlet and an outlet, or
 - b) clean granular material and a pipe not less than 100 mm installed through the floor at or near center of the slab so that:
 - i) its bottom end opens into the granular layer with not less than 100 mm of granular material projecting beyond the terminus of the pipe,
 - ii) its top end permits connection to depressurization equipment and is provided with an airtight cap,
 - iii) the pipe is clearly labeled near the cap and, if applicable every 1.8 m (6 ft.), and at every change of direction to indicate that it is intended for the removal of radon from below the slab.
 - Concrete slabs-on-ground are to be at least 75 mm (3") thick exclusive of topping on top of 0.15 mm (6 mil) polyethylene lapped not less than 300 mm. The polyethylene sheet is to be sealed around the slab perimeter to the inner wall surfaces by a flexible sealant.

All penetrations through the slab-on-ground air barrier are to be sealed, including structural posts, pipes, conduits, cleanouts etc.

- * *If radon is a concern, radon testing devices are available through a wide range of retailers and service providers. Health Canada recommends a minimum 3 month radon test, preferably during the heating season (October to April), in the lowest normally occupied living area of the home. As radon concentrations can vary over time, measurements gathered over a longer period of time will give a better indication of average annual concentration.*

Foundation and Floor Slabs

- Article 9.3.1.3. Sulphate resisting cement is to be used for concrete in contact with sulphate soils deleterious to normal cement.

Sulphate resistant concrete is to have a minimum compressive strength of 32 MPa (2,175 psi).

- Article 9.3.1.9. When the air temperature is below 5°C (41°F), concrete is to be kept at a temperature of not less than 10°C (50°F) or more than 25°C (77°F) while being mixed and placed. The temperature is to be maintained at a temperature of not less than 10°C (50°F) for 72 hours after being placed. No frozen material or ice is to be used in the mix.

The concrete is not to be placed into mud, standing water or snow, or on, against or above any frozen material.

- Article 9.4.4.3. Where a foundation bears on gravel, sand or silt and the water table is within a distance below the bearing surface equal to the width of the foundation, the allowable bearing pressure is to be 50%.of that determined in Article 9.4.4.1.
- Article 9.4.4.4. In areas which soil movement caused by changes in soil moisture content is known to occur to the extent that it may cause significant damage to a building, measures are to be taken to minimize this effect.

When a foundation is located in an area where soil movement caused by changes in soil by chemical-microbiological oxidation (pyrite or bentonite material) is known to occur, a subsurface investigation shall be carried out and submitted by a professional engineer and submitted to the authority having jurisdiction prior to the commencement of foundation work.

- Article 9.12.2.2. An excavation for foundations is to extend to undisturbed soil and below the depth of frost penetration a minimum of 1.2 m (4').
- Article 9.14.2.1. Unless shown to be unnecessary, foundation drainage is to be installed. It is to be at least 100 mm (4") diameter weeping tile laid on undisturbed or well compacted soil with not less than 150 mm (6") granular cover on the top and sides; draining to a building drain, storm drain, drainage ditch, dry well or to the ground surface (check your local bylaws for local requirements).

Foundation drains are to drain to a sewer, drainage ditch or drywell.

- Article 9.14.5.2. Where a sump pit is required to be provided, it is to be:
 - a) not less than 750 mm (30") deep,
 - b) not less than 0.25 m² (2.7 ft²) in area, and
 - c) be provided with a cover.

Where gravity drainage is not practical, an automatic sump pump is to be provided to discharge the water from the sump pit to into a sewer, drainage ditch or dry well.

Covers for sump pits are to be designed to resist removal by children and sealed around the perimeter as per Radon Gas rough-in requirements.

- Article 9.14.5.3. Dry wells may be used only when located in areas where the natural groundwater level is below the bottom of the dry well. Dry wells are to be not less than 5 m (16') from the building foundation and located so that drainage is away from the building.
- Article 9.15.3.2. Footings are to rest on undisturbed soil, rock, or compacted granular fill.
- Article 9.15.3.4. The minimum size of unreinforced concrete pad footings supporting columns spaced at 3 m (10') apart is/are
 - i) 0.4 m² (4.3 ft²) x 265 mm (10.5") thick when supporting one floor.
 - ii) 0.75 m² (8.1 ft²) x 382 mm (15") thick when supporting two floors.

For columns spaced other than 3 m (10'), the footing size may be adjusted proportionally

- **Article 9.15.4.1.** ICF insulated concrete foundation are to be manufactured of polystyrene conforming to the performance requirements of CAN/ULC-S701, and constructed walls must conform to the National Building Code - Alberta Edition, and to the following conditions:
 - ▶ **Must** meet requirements of CCMC evaluation report and used in accordance with limitations and conditions stated in this report.
 - ▶ **Must** be erected under direct supervision of the manufacturer or by a certified installer.
 - ▶ **Must** be in strict compliance with the manufacturer's technical manual.
 - ▶ **Must** be protected from the inside by a thermal barrier, i.e. 1/2" drywall.

Floor and Roof Systems

- Article 9.23.4.2. Wood built-up beams are to conform to Tables A-8, A-9, A-10, A-11 or The Span Book. Glue-laminated beams are to conform to Table A-11 or The Span Book. All other beams not included in these tables are to be designed by a registered architect or professional engineer.
- Article 9.23.6.1. Building anchorage to be provided by embedding in concrete two 38 mm x 89 mm (2"x 4") sill plates placed on edge and separated by blocking spaced 1.2 m (4') o.c., or fastening the sill plate to the foundation with not less than 12.7 mm (1/2") anchor bolts spaced not more than 2.4 m (8') o/c, or embedding ends of the first floor joists in concrete
- Article 9.23.8.3. Dimensional beam joints are to occur over a support, or be continuous over one span so that the joint is at or within 150 mm (6") of the end quarter points of the clear span, provided the quarter points are not those closest to the ends of the beams.
- Article 9.23.12.3. Wood lintels over loadbearing wall, window and door openings, are to conform to Span Tables A-12 to A-19.

Construction Above Foundation

- Article 9.10.16.2. Fire blocks are to be provided at all concealed spaces including the space between the chimney flue and shaft where it passes through a floor or ceiling.
- Articles 9.17.3.1. & 2. Hollow steel columns are to be at least 73 mm (2 7/8") diam. by 4.76 mm (3/16") wall thickness and have at least 100 mm (4") x 100 mm (4") x 6 mm (1/4") steel plates top and bottom. Where the steel top plate supports a wooden beam it is to extend squarely across the full width of the beam.
- Article 9.17.4.1. Wood columns are to be not less than 184 mm (8") for round columns and 140 mm x 140 mm (6" x 6") for rectangular columns, and the width is not to be less than the beam it is supporting.

Exterior Cladding and Roofing

- Article 9.27.2.4. Wood siding is not to extend within 200 mm (8") of finished grade.
- Article 9.27.3.7. Flashing is to consist of not less than
 - a) 1.73 mm thick sheet lead,
 - b) 0.33 mm thick galvanized steel,
 - c) 0.46 mm thick copper,
 - d) 0.46 mm thick zinc,
 - e) 0.48 mm thick aluminum, or
 - f) 1.02 mm thick vinyl.
- Article 9.27.3.8. Flashing is to be installed at every horizontal junction between 2 different exterior finishes, except where the upper finish overlaps the lower finish.

Flashing is to be applied over exterior wall openings where the vertical distance from the bottom of the eave to the top of the trim is more than one-quarter of the horizontal overhang of the eave.

Flashing is to be installed so that it extends upwards not less than 50 mm (2") behind the sheathing paper and forms a drip on the outside edge.

- Article 9.27.4.1. Sealants (exterior caulking), are to be provided where required to prevent the entry of water into the structure.

Stairs, Guards & Handrails

- Article 9.8.2.1. At least one stair between each floor level within a dwelling unit and exterior stairs serving the dwelling unit are to have a width of not less than 860 mm (34")
- Article 9.8.2.2. The clear height over the stairs is to be measured vertically, over the clear width of the stair, from a straight line tangent to the tread and landing nosings to the lowest point above. The clear height over the stairs is not to be less than 1.95 m (6' 4").
- Article 9.8.4.2. Stairs are to have a maximum rise of 200 mm (8") with a minimum rise of 125 mm (5"), and a minimum run of 255 mm (10") with a maximum run of 355 mm (14"). Treads and risers are to have uniform rise and run in any one flight.
- Article 9.8.7.1. At least one handrail is to be provided on interior stairs having more than 2 risers, and exterior stairs having more than 3 risers.
- Article 9.8.7.2. Unless interrupted by a newell post, or interrupted by a doorway, handrails are to be continuously graspable throughout the length of the flights of stairs from the bottom riser to the top riser.
- Article 9.8.6.2. Landings are not required to a secondary entrance provided:
 - 1) the stairs have 3 risers or less,
 - 2) the door swings away from the stairs or is a sliding door, and
 - 3) a storm or screen door opening over the stair has a hold-open device.
- Article 9.8.7.4. The height of required handrails on stairs (Interior/exterior), is to be between 865 mm (34") and 1,070 mm (42") above the line of stair nosing.
- Article 9.8.7.5. The clearance between a handrail and the surface behind it is to be not less than:
 - a) 50 mm (2"), or
 - b) 60 mm (2¼") where the said surface is rough or abrasive.

All handrails are to be constructed so as to be continually graspable along their entire length with no obstruction on or above them to break a handhold.

The graspable portion of a handrail should allow a person to comfortably and firmly grab hold by allowing their fingers and thumb to curl under part or all of the handrail

- Article 9.8.8.3. Guards for stairs, within the dwelling units, including common spaces, are to be not less than 900 mm (36") high measured vertically from a line drawn through the outside edges of the stair nosing.

Exterior guards, for surfaces between 600 mm (24") and 1.8 m (6') above the adjacent ground level, are to be 900 mm (36") in height. If the adjacent ground level is more than 1.8 m (6') a 1,070 mm (42") high guard is required.
- Article 9.8.8.4. The garage floor appears to be more than 600 mm (24") above the adjacent floor level, therefore, each opening not protected by a wall is to be provided with a continuous curb not less than 140 mm (5½") in height, and a guard not less than 1,070 (42") above the floor level.
- Article 9.8.8.5. All required guards (interior/exterior), are to be designed so that the openings in the guard be of a size that prevents the passage of a spherical object having a diameter of 100 mm (4").

Article 9.8.8.6. Guards over 4.2 m (14') above the adjacent floor/ground level, are to be designed so that no member attachment or opening between 140 mm (5½"), and 900 mm (36") facilitates climbing.

Heating and Ventilation

- Article 9.32.2.3. The dwelling unit is to incorporate provisions for the non-heating season ventilation. If supplied with electrical power, the ventilation system is to have the capacity to exhaust indoor air from the room or space, or to introduce outdoor air to that room or space at a rate of one air change per hour.
- Article 9.32.3.1. In the heating season, the dwelling is to be provided with a mechanical ventilation system complying with good practice such as described in CAN/CSA-F326-M, "Residential Mechanical Ventilation Systems", or the requirements found in Subsection 9.32.3. of the National Building Code – Alberta Edition.

Each habitable room or space is to have the capacity of exhausting and replacing air in accordance Section 9.32.2., and 9.32.3. The system is to consist of sufficient principal and supplementary exhaust fans, or be ventilated by using a HRV (Heat Recovery Ventilator).

- Article 9.32.3.4. The principal ventilation fan control is to be wired so that the activation of the principal ventilation fan automatically activates the forced air heating system's circulation fan to provide an airflow not greater than the space-heating airflow.
- Article 9.32.3.7. Where an exhaust air intake for the principal exhaust ventilation fan is not located in a bathroom or water-closet room, a supplemental exhaust fan with a rated capacity not less than 25 L/s is to be installed in that bathroom or water-closet room.
- Article 9.32.3.8. Dwellings are to be equipped with high efficiency appliances or have sufficient make-up/combustion air for protection against depressurization.
- Article 9.32.3.11. Ductwork for range hoods and range-top fans are to:
 - a) be of noncombustible, corrosion-resistant material,
 - b) lead directly to the outdoors with no connections to other exhaust fans or ducts, and
 - c) be equipped with a grease filter at the intake end.

Exhaust from kitchen or washroom fans is to be ducted directly to the outside and the duct is to be insulated to not less than RSI 0.5 (R-2.85), where passing through an unheated space.

Ducting joints in a ventilation system are to be sealed with mastic, metal foil duct tape or the manufacturers specified sealants. Sealants are to have a flame-spread rating not more than 25 and a smoke developed classification of not more than 50.

Clothes dryer vents are to be ducted to the outside, not have a screen, be installed with suitable access for cleaning purposes and not be secured with screws protruding into the vent..

- Article 9.33.3.1. Homes intended for use in the winter months on a continuing basis must be equipped with heating facilities capable of maintaining the following indoor air temperatures at the outside winter design temperature:
 - a) 22° C for all living spaces,
 - b) 18° C in unfinished basements,
 - c) 18° C in common service rooms, ancillary spaces and exits in houses with a secondary suite, and
 - d) 15° C in heated crawl spaces.
- Article 9.33.5.5. The combustion air intake is to be located on the outside of the building and not within an attic or roof space.
- Article 9.33.6.7. Ducts passing through unheated spaces are to have all joints taped or otherwise sealed to ensure that the ducts are air tight throughout their length.

Doors & Windows

- Article 9.5.5.1. All doors in at least one line of passage from the exterior to the basement utility room(s) are to be at least 810 mm (32") in width.
- Article 9.9.6.7. Exterior doors are to be openable from the inside without the use of keys, special devices or specialized knowledge of the door opening mechanism.
- Article 9.9.10.1. Each bedroom is to have at least one outside window openable from the inside that provides an unobstructed opening of not less than 380 mm (15") in height and width and 0.35 m² (3.75 ft²) in area, unless the bedroom has a door which opens directly to the exterior.

Where a bedroom window opens into a window-well, a clearance of not less than 760 mm (30 in.) is to be provided in front of the window.

General

- Article 9.10.19.3. Smoke alarms, installed by permanent connections to an electrical circuit, are to be provided:
 - a) in each bedroom,
 - b) on each storey, including basements, and
 - c) in each hallway serving the sleeping room, or between the sleeping room and the rest of the storey.

As more than one is required, they are to be interconnected so that the activation of one alarm will cause all smoke detectors in the house to sound.

- Article 9.10.19.6. A manually operated device is to be incorporated within the circuitry of the smoke alarms installed in a dwelling unit so that the signal emitted by the smoke alarm can be silenced for a period not more than 10 minutes after which the smoke alarm will reset and sound again if the level of smoke in the vicinity is sufficient to re-activate it.
- Article 9.10.22.2. Framing finishes and cabinetry installed directly above the location of the cook top is to be not less than 750 mm (30"), above the level of cook top burners or elements. The vertical clearance for framing, finishes and cabinets located directly above the location of the cook top may be reduced to 600 mm (24") above the level of the elements or burners provided the framing, finishes and cabinets are noncombustible, or are protected by:
 - a) are non-combustible, or
 - b) a metal hood with a 125 mm (5") projection beyond the framing, finishes and cabinets.
- Article 9.14.6.1. The building site is to be graded to prevent drainage towards the foundation after settling.
- Article 9.14.6.3. Crawl space access hatchways are to be at least 500 mm x 700 mm (20" x 28"). Access openings are to be fitted with a door or cover, unless the crawl space is heated and opens into an adjacent heated space.
- Article 9.32.3.9. Where fuel burning appliances are installed, or any dwelling unit with an attached garage, a carbon monoxide detector is to be installed inside each bedroom, or outside each bedroom within 5 m (16') of each bedroom door.

If more than one is required, they are to be interconnected so that the activation of one alarm will cause all carbon monoxide detectors in the house to sound.

Where a carbon monoxide alarm directly wired to the dwellings electrical system, there is to be no disconnect switch between the overcurrent device and the carbon monoxide alarm.

The detectors are to be mechanically fixed at a height recommended by the manufacturer.

The list of Specific/General Requirements is a condensed version of essential construction guidelines and may not cover all the requirements in your construction or changes made on site. Neither the issuance of a permit, nor inspections made by the Authority Having Jurisdiction, will in any way relieve the owner (or the owners representative) of a building from full responsibility for carrying out the construction or having the construction carried out in accordance with the requirements of the Safety Codes Act and regulations made pursuant to that Act, this Code, or the permit, including compliance with any special conditions required by the Authority Having Jurisdiction.

Safety Codes Officer: **Daniel Milot**

Designation No. **D # 10246**

Signature:  _____



**SUPERIOR
SAFETY CODES INC.**

PERMITS & INSPECTIONS

334SSC-24-B0001

PERMIT NUMBER

CVC B 0001 24 CA

LOCATION:

West on Twn Rd 160 off of Highway 23

Lot 1 Block Plan 8811438 SW 1/4Sec 4 Twp 16 Rge 24 W 4

Vulcan County

SUPERIOR SAFETY CODES INC.

#25, 2015 32 Avenue NE, Calgary T2E 6Z3

Ph: 1 403 717 2344 Fax: 1 403 717 2340 Toll Free Ph: 1 888 717 2344 Toll Free Fax: 1 888 717 2340

PLEASE POST THIS CARD AT THE ENTRANCE TO THE PROPERTY

G23

ISSUED BUILDING PERMIT

Permit Number: 334SSC-24-B0001

Agency File Number: CVC B 0001 24 CA

Applicant Name: Caleb Vande Bruinhorst

Expires: February 11, 2026

Enclosed: Issued Permit, Plans Examination Report, Approved Drawings

Plans Examination Report

The Plans Examination Report shall be read in its entirety and all items on the report must be addressed accordingly. If applicable, ensure the contractor receives a copy of the Plans Examination Report.

Inspections

It is the permit applicant's responsibility to arrange inspections and provide access for the Safety Codes Officer. See page 1 of the Plans Examination Report for the required stages of inspection.

Please quote the permit number when calling for inspections; also provide at least 48 hours' notice when requesting inspections.

Other Required Permits

Electrical, Gas, Plumbing, and Private Sewage Permits:

Please be aware that these permits may also be required for your project. If you will be hiring sub-trades to complete these installations they should be applying for their respective permits.

From: [Alena Matlock](#)
To: eweniquefarms@gmail.com
Subject: Building Permit / Development Permit Mismatch
Date: February 14, 2024 3:10:00 PM

Good afternoon,

In the course of regular review of our outstanding development permits I found that yours had pulled a new building permit; which is great! However, the building permit states that you will be placing a Manufactured Home on the property. This is not a problem in and of itself, however the development permit that Vulcan County issued to you (DP 01-2023) was for a Single Detached Dwelling, or a built-on-site home.

I am happy to update the permit if there is no need for any further approvals, and if the Manufactured Home you are proposing to locate on the property is new, and has not been lived in previously.

However, if the manufactured home you are proposing to move in is older, or **has** been lived in previously, then you will need a new development permit, as there are other standards of application that must be met by previously occupied dwellings.

Please let me know what type of manufactured home it is and we can work on either modifying or re-applying for a development permit.

Thank you!

Alena Matlock

Development Officer

Vulcan County

102 Centre Street | Box 180 | Vulcan | T0L 2B0

Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Re: Building Permit / Development Permit Mismatch
Date: February 14, 2024 4:01:59 PM

Hi Alena,

Yes, it was a previously lived in manufactured home. When we applied we didn't have much of a vision as to what we would do there. The home has been placed on the ICF basement. Hope we can change what needs to be changed for the right permit.

Thank you,
Caroline

On Wed, Feb 14, 2024, 4:10 p.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

Good afternoon,

In the course of regular review of our outstanding development permits I found that yours had pulled a new building permit; which is great! However, the building permit states that you will be placing a Manufactured Home on the property. This is not a problem in and of itself, however the development permit that Vulcan County issued to you (DP 01-2023) was for a Single Detached Dwelling, or a built-on-site home.

I am happy to update the permit if there is no need for any further approvals, and if the Manufactured Home you are proposing to locate on the property is new, and has not been lived in previously.

However, if the manufactured home you are proposing to move in is older, or **has** been lived in previously, then you will need a new development permit, as there are other standards of application that must be met by previously occupied dwellings.

Please let me know what type of manufactured home it is and we can work on either modifying or re-applying for a development permit.

Thank you!

Alena Matlock

Development Officer

Vulcan County

102 Centre Street | Box 180 | Vulcan | T0L 2B0

Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: RE: Building Permit / Development Permit Mismatch
Date: February 14, 2024 4:24:00 PM
Attachments: [DP Application Form.pdf](#)
[Section 26 - Dwelling Standards.pdf](#)
[Checklist for Residential development.pdf](#)

Hi Caroline,

I am not too worried, we can often make it work.

I have attached the section from our Land Use Bylaw that talks about the standards for previously occupied manufactured homes. The biggest hurdle is the age limit of the home; the Manufactured Home must be built in 1985 or newer. If it is older than 1985 then it is not allowed to be used as a dwelling in Vulcan County.

Also attached is a development permit application form and checklist for residential development. We will need a permit for a previously occupied pre-fabricated home, so along with the typical form site plan and fee, there are a few items on the bottom of that checklist that need to accompany the application.

The fee for Manufactured Dwelling 2 is \$225.00 and I can take payment via credit card over the phone, e-transfer to accountant@vulcancounty.ab.ca, cheque in the mail, or any method in person at our office in Vulcan.

Please let me know if you have any questions.

Thank you,

Alena Matlock

Development Officer

Vulcan County

102 Centre Street | Box 180 | Vulcan | T0L 2B0

Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>
Sent: Wednesday, February 14, 2024 4:02 PM
To: Alena Matlock <devassist@vulcancounty.ab.ca>
Subject: Re: Building Permit / Development Permit Mismatch

Hi Alena,

Yes, it was a previously lived in manufactured home. When we applied we didn't have much of a vision as to what we would do there. The home has been placed on the ICF basement. Hope we can change what needs to be changed for the right permit.

H3

From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Re: Building Permit / Development Permit Mismatch
Date: February 14, 2024 5:26:34 PM

1985 Safeway. Sure, send us the invoice and we'll etransfer you.

On Wed, Feb 14, 2024, 5:24 p.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

Hi Caroline,

I am not too worried, we can often make it work.

I have attached the section from our Land Use Bylaw that talks about the standards for previously occupied manufactured homes. The biggest hurdle is the age limit of the home; the Manufactured Home must be built in 1985 or newer. If it is older than 1985 then it is not allowed to be used as a dwelling in Vulcan County.

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Please let me know if you have any questions.

Thank you,

Alena Matlock

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devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>

Sent: Wednesday, February 14, 2024 4:02 PM

To: Alena Matlock <devassist@vulcancounty.ab.ca>

Subject: Re: Building Permit / Development Permit Mismatch

Hi Alena,

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: RE: Building Permit / Development Permit Mismatch
Date: February 15, 2024 8:28:00 AM

Good morning,

Sounds good.

We do not invoice for permit fees, but I will certainly forward you a receipt once the payment has been processed.

I will watch for your application next week.

Thanks,

Alena Matlock

Development Officer

Vulcan County

102 Centre Street | Box 180 | Vulcan | T0L 2B0

Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>
Sent: Wednesday, February 14, 2024 6:22 PM
To: Alena Matlock <devassist@vulcancounty.ab.ca>
Subject: Re: Building Permit / Development Permit Mismatch

You don't often get email from eweniquefarms@gmail.com. [Learn why this is important](#)

Will fill in the form early next week and email it back to you.

On Wed, Feb 14, 2024, 5:24 p.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

Hi Caroline,

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I have attached the section from our Land Use Bylaw that talks about the standards for previously occupied manufactured homes. The biggest hurdle is the age limit of the home; the Manufactured Home must be built in 1985 or newer. If it is older than 1985 then it is not allowed to be used as a dwelling in Vulcan County.

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From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Re: Building Permit / Development Permit Mismatch
Date: February 21, 2024 9:18:40 AM
Attachments: [scancounty1.pdf](#)
[scancounty2.pdf](#)
[scancounty3.pdf](#)

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On 15/2/24 8:28 a.m., Alena Matlock wrote:

Good morning,

Sounds good.

We do not invoice for permit fees, but I will certainly forward you a receipt once the payment has been processed.

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Thanks,

Alena Matlock

Development Officer

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devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>

Sent: Wednesday, February 14, 2024 6:22 PM

To: Alena Matlock <devassist@vulcancounty.ab.ca>

Subject: Re: Building Permit / Development Permit Mismatch

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From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: RE: Building Permit / Development Permit Mismatch
Date: February 21, 2024 1:42:00 PM

Good afternoon,

Thank you for submitting the application form and site plan; they have been received, and look fine. I still need to see the remaining required documents as per the checklist I attached to the first email, to deem the application complete.

Of key importance are the home inspection report, photos of each side of the building, floor plan, and photo of the CSA certification.

The home inspection report can be performed by any licensed home inspector in the province. The report I require will go through the home, room by room and identify the condition of all things, and provide a summary in a written document or digital file. The purpose for this is to manage the quality of previously occupied homes that are brought into the County, as the required repairs to certain deficiencies mentioned in the home inspection report will be listed as conditions of approval on your development permit.

Please let me know if you have any questions.
Thanks!

Alena Matlock

Development Officer

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Direct: (403) 485-3135

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devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>
Sent: Wednesday, February 21, 2024 9:19 AM
To: Alena Matlock <devassist@vulcancounty.ab.ca>
Subject: Re: Building Permit / Development Permit Mismatch

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On 15/2/24 8:28 a.m., Alena Matlock wrote:

Good morning,

Sounds good.

We do not invoice for permit fees, but I will certainly forward you a receipt once the payment has been processed.

H7

From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Re: Building Permit / Development Permit Mismatch
Date: February 21, 2024 1:46:25 PM

Let me forward all the paperwork from the inspection first. I was of the assumption that they would forward it to you as well.

On Wed, Feb 21, 2024, 1:42 p.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

Good afternoon,

Thank you for submitting the application form and site plan; they have been received, and look fine.

I still need to see the remaining required documents as per the checklist I attached to the first email, to deem the application complete.

Of key importance are the home inspection report, photos of each side of the building, floor plan, and photo of the CSA certification.

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Alena Matlock

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devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>

Sent: Wednesday, February 21, 2024 9:19 AM

To: Alena Matlock <devassist@vulcancounty.ab.ca>

Subject: Re: Building Permit / Development Permit Mismatch

From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Fwd: Permit - Building Permit: 334SSC-24-B0001
Date: February 21, 2024 1:47:24 PM
Attachments: [334SSC-24-B0001-Building Permit - SSCI.pdf](#)
[334SSC-24-B0001-Plans Review.pdf](#)
[334SSC-24-B0001-Approved Plans.pdf](#)

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----- Forwarded message -----

From: <permitting@safetycodes.ab.ca>
Date: Tue, Feb 13, 2024, 9:14 a.m.
Subject: Permit - Building Permit: 334SSC-24-B0001
To: <eweniquefarms@gmail.com>

Dear Permit Holder or Owner,

You are receiving this email because you recently applied for a safety codes permit.

A copy of your issued Safety Codes Permit and/or supporting documents are attached to this email.

It is important that you read and review all the attached documents as they will cover important details regarding your permitted work, any details that you may need to be specifically aware of, number of required inspections, and any additional drawings and/or documents that may need to be submitted as your permitted work progresses.

Please let Superior Safety Codes Inc. know if there are changes to any pertinent information as provided on your permit application such as mailing address, email address, phone number, scope of work and/or any changes in the contractor or professional involved with the project. Having updated contact information allows us to get relevant information to you.

If you have any questions regarding the attached document(s), please contact Superior Safety Codes Inc..

Regards,

Liza Proulx
Superior Safety Codes Inc.
100, 14535 118 Ave NW
Edmonton, Alberta T5L 2M7
(780)489-4777
ebiz@superiorsafetycodes.com

Please note this email box is not monitored and will not respond to replies.

Confidentiality Notice: This e-mail may contain confidential and privileged material for the sole use of the intended recipient(s). Any review, use, distribution or disclosure by others is strictly prohibited. If you are not the intended recipient (or authorized to receive for the

H9

recipient), please contact the sender by reply e-mail or telephone and delete all copies of this message.

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: RE: Permit - Building Permit: 334SSC-24-B0001
Date: February 21, 2024 2:12:00 PM

Ah I see.

This is definitely helpful, and I will put it in the file, but it is not what I need.

This building permit application and the plans review is for the basement, not the dwelling. Which is great, and is necessary generally, but it is not sufficient for the application. Often there are no building permits required for the homes themselves as they are pre-fabricated and constructed to the relevant CSA standard at that time. So when they are older and moved into the County, the only way to ensure that quality is to have the dwelling itself inspected.

If you need contact information for a licensed inspector, we have received reports from a few local-ish companies.

A Buyer's Choice Home Inspections: <https://abuyerschoice.com/navigate-your-home-inspection-report/>

Pillar to Post Home Inspectors: <https://lethbridge.pillartopost.com/>

Sureworx Inspection Services Inc. : <https://www.sureworx.com/>

Of course you are free to shop around and find a licensed inspector that will suit your needs.

Please let me know if you have any questions.

Thanks,

Alena Matlock

Development Officer

Vulcan County

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Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>

Sent: Wednesday, February 21, 2024 1:47 PM

To: Alena Matlock <devassist@vulcancounty.ab.ca>

Subject: Fwd: Permit - Building Permit: 334SSC-24-B0001

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----- Forwarded message -----

H11

From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Re: Permit - Building Permit: 334SSC-24-B0001
Date: February 21, 2024 2:18:06 PM

You don't often get email from eweniquefarms@gmail.com. [Learn why this is important](#)

Yikes!!!! I can't believe we jumped through all these hoops and it wasn't even necessary
Alright... off to Part B

On Wed, Feb 21, 2024, 2:12 p.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

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Thanks,

Alena Matlock

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Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: RE: Permit - Building Permit: 334SSC-24-B0001
Date: February 21, 2024 3:13:00 PM

No don't worry about that. I would have required you to get the Building permit for the basement anyway. So that is a good thing you did.

Alena Matlock

Development Officer

Vulcan County

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Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>
Sent: Wednesday, February 21, 2024 2:18 PM
To: Alena Matlock <devassist@vulcancounty.ab.ca>
Subject: Re: Permit - Building Permit: 334SSC-24-B0001

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Alright... off to Part B

On Wed, Feb 21, 2024, 2:12 p.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

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Pillar to Post Home Inspectors: <https://lethbridge.pillartopost.com/>

H13

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: Development Permit Application
Date: March 11, 2024 10:38:00 AM

Good morning,

Looking for an update on your progress in applying for a new development permit. Last email I sent some links for local home inspection businesses; were you able to book an inspection for the home?

Thanks!

Alena Matlock

Development Officer

Vulcan County

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Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Re: Development Permit Application
Date: March 11, 2024 11:27:26 AM

You don't often get email from eweniquefarms@gmail.com. [Learn why this is important](#)

Hi Alena,

We have found a home inspector. He hopes to come when he has time. No work has been done on the house in a few months but as the weather warms up there should be some progress (pour basement floor, put in windows and get the plumber in and the heater). What is the most pressing thing you would like to see first? I think I got signed up for doing something I don't like

Have a great day,
Caroline

On Mon, Mar 11, 2024, 10:38 a.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

Good morning,

Looking for an update on your progress in applying for a new development permit. Last email I sent some links for local home inspection businesses; were you able to book an inspection for the home?

Thanks!

Alena Matlock

Development Officer

Vulcan County

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devassist@vulcancounty.ab.ca

H15

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: RE: Development Permit Application
Date: March 11, 2024 11:43:00 AM

Good morning,

So I will need the Development Permit as soon as we can possibly get it. The main item I need for the application is the home inspection report.

Once I have issued you a new development permit, it will be business as usual getting the safety code permits in place to set up the home (likely not extensive as it is a pre-fabricated dwelling). You already got the building permit for the basement, and siting, which is great. You may have also already looked into getting the safety code permits to hook up the home (electrical service, gas service and a private septic service), but they will also be required.

The issue we have is that your original approval was for a built on site home, rather than a pre-fabricated one, so we need to have the permits address exactly what is being done to ensure compliance with the Land Use Bylaw.

Please let me know if you have any other questions.

Regards,

Alena Matlock

Development Officer

Vulcan County

102 Centre Street | Box 180 | Vulcan | T0L 2B0

Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>

Sent: Monday, March 11, 2024 11:27 AM

To: Alena Matlock <devassist@vulcancounty.ab.ca>

Subject: Re: Development Permit Application

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Hi Alena,

We have found a home inspector. He hopes to come when he has time. No work has been done on the house in a few months but as the weather warms up there should be some progress (pour basement floor, put in windows and get the plumber in and the heater). What is the most pressing thing you would like to see first? I think I got signed up for doing something I don't like

Have a great day,

Caroline

H16

From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Re: Development Permit Application
Date: March 11, 2024 12:09:30 PM

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Okay. So just to reiterate. All you need is the home inspection report for now so that all is good for the development permit. Nothing for me personally to fill in, is that correct? Bert will give this guy another ring today and get this on track!!

On Mon, Mar 11, 2024, 11:43 a.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

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Alena Matlock

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devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>

Sent: Monday, March 11, 2024 11:27 AM

To: Alena Matlock <devassist@vulcancounty.ab.ca>

Subject: Re: Development Permit Application

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H17

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: RE: Development Permit Application
Date: March 11, 2024 3:56:00 PM
Attachments: [Application.pdf](#)

I would need another form filled out, but if all the information is the same from the first application (except for the type of building) then I can transfer that information over. Attached is your original application. If all information looks correct, please confirm and I will transfer the info to a new application.

Once I receive the home inspection, I may have additional questions as to your plans for any repairs or improvements to the home prior to issuing the permit.

Thanks!

Alena Matlock

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Vulcan County

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devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>
Sent: Monday, March 11, 2024 12:09 PM
To: Alena Matlock <devassist@vulcancounty.ab.ca>
Subject: Re: Development Permit Application

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H18

From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Re: Development Permit Application
Date: March 11, 2024 4:04:04 PM

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Meanwhile there are a few changes. The title is now in Caleb's name. Not sure if that matters or not? For the rest everything looks good. (Moved on residence instead of cabin or modular home). The fee was what again? I can drop off a cheque at the county office this week.

On Mon, Mar 11, 2024, 3:56 p.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

I would need another form filled out, but if all the information is the same from the first application (except for the type of building) then I can transfer that information over. Attached is your original application. If all information looks correct, please confirm and I will transfer the info to a new application.

Once I receive the home inspection, I may have additional questions as to your plans for any repairs or improvements to the home prior to issuing the permit.

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Alena Matlock

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devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>

Sent: Monday, March 11, 2024 12:09 PM

To: Alena Matlock <devassist@vulcancounty.ab.ca>

Subject: Re: Development Permit Application

You don't often get email from eweniquefarms@gmail.com. [Learn why this is important](#)

Okay. So just to reiterate. All you need is the home inspection report for now so that all is good for the development permit. Nothing for me personally to fill in, is that correct? Bert will give this guy another ring today and get this on track!!

H19

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: RE: Development Permit Application
Date: March 11, 2024 4:08:00 PM

If that's alright with Caleb then it's alright with me. We typically take the registered owner's signature on the application, or an email stating they are aware of the application and give permission for it.

The fee for this next step up is \$225.00, but you've already paid me \$150.00 so we need \$75.00. A cheque dropped off would be great! I will start a file for you and we'll get this straightened out.

Thanks!

Alena Matlock

Development Officer

Vulcan County

102 Centre Street | Box 180 | Vulcan | T0L 2B0

Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>
Sent: Monday, March 11, 2024 4:04 PM
To: Alena Matlock <devassist@vulcancounty.ab.ca>
Subject: Re: Development Permit Application

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Meanwhile there are a few changes. The title is now in Caleb's name. Not sure if that matters or not? For the rest everything looks good. (Moved on residence instead of cabin or modular home). The fee was what again? I can drop off a cheque at the county office this week.

On Mon, Mar 11, 2024, 3:56 p.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

I would need another form filled out, but if all the information is the same from the first application (except for the type of building) then I can transfer that information over. Attached is your original application. If all information looks correct, please confirm and I will transfer the info to a new application.

Once I receive the home inspection, I may have additional questions as to your plans for any repairs or improvements to the home prior to issuing the permit.

Thanks!

From: [Bert VandeBruinhorst](#)
To: [Alena Matlock](#)
Subject: Re: Development Permit Application
Date: March 12, 2024 5:25:32 PM

You don't often get email from eweniquefarms@gmail.com. [Learn why this is important](#)

Tomorrow morning 9 am... home inspection will be done!

On Mon, Mar 11, 2024, 4:08 p.m. Alena Matlock <devassist@vulcancounty.ab.ca> wrote:

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From: Bert VandeBruinhorst <eweniquefarms@gmail.com>

Sent: Monday, March 11, 2024 4:04 PM

To: Alena Matlock <devassist@vulcancounty.ab.ca>

Subject: Re: Development Permit Application

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I would need another form filled out, but if all the information is the same from the first

H21

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#)
Subject: RE: Development Permit Application
Date: March 13, 2024 11:16:00 AM

Awesome!! We'll get it sorted soon then.

Thanks,

Alena Matlock

Development Officer

Vulcan County

102 Centre Street | Box 180 | Vulcan | T0L 2B0

Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: Bert VandeBruinhorst <eweniquefarms@gmail.com>

Sent: Tuesday, March 12, 2024 5:25 PM

To: Alena Matlock <devassist@vulcancounty.ab.ca>

Subject: Re: Development Permit Application

You don't often get email from eweniquefarms@gmail.com. [Learn why this is important](#)

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Alena Matlock

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Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: [Alena Matlock](#)
To: [REDACTED]@gmail.com
Cc: [Bert VandeBruinhorst](#)
Subject: Applicant Notification Letter 23-2024
Date: March 19, 2024 11:05:00 AM
Attachments: [Applicant Notification Letter 23-2024.pdf](#)

Good morning,

Please see attached document regarding your application for Development Permit.
If you have any questions, please feel free to contact me.

Thank you,

Alena Matlock

Development Officer

Vulcan County

102 Centre Street | Box 180 | Vulcan | T0L 2B0

Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca

From: [Alena Matlock](#)
To: [Bert VandeBruinhorst](#); [REDACTED]@gmail.com
Subject: Permit Issue
Date: April 3, 2024 2:38:00 PM
Attachments: [Section 26 - Dwelling Standards.pdf](#)

Good afternoon,

I am looking at providing a decision on the permit for this proposed manufactured home and I came across an inconsistency in the inspection that is a problem.

When we started this process, I advised you that an older manufactured home may be used, so long as it is no older than 1985. You replied stating the home was a Safeway Shelters model year 1985.

On page 25 of 42, in the home inspection, it shows an electrical panel that the inspector states is "48 years old", and looking closer at the details on the panel, it has a line filled in on the inspection card for August of 1976.

As manufactured homes are factory built, this demonstrates to me that the home is older than 1985.

I cannot issue a permit for a manufactured home that is older than 1985. Our Land Use Bylaw specifically prohibits them. (see dwelling standards attached).

Unfortunately, I am going to have to refuse the permit on the grounds that the Manufactured Dwelling exceeds the allowable age and does not meet the standards required in our Land Use Bylaw and the Manufactured Home will need to be removed from the property.

Should you wish to, your original development permit for a single detached dwelling (so a built on site home) is still active, and you may pursue a built on site home under that original approval (Permit 01-2023, issued February 13, 2023 is valid until February 13, 2025 and if necessary extendable to February 13, 2026).

If you wish to pursue a manufactured dwelling or pre-fabricated building of some kind, we do accept a wide variety of types, so long as they meet the standards in the attached eligible dwellings standards.

Following this email I will be sending the official Notice of Decision with regards to this application.

Please feel free to contact me if you have any questions.

Regards,

Alena Matlock

Development Officer

Vulcan County

102 Centre Street | Box 180 | Vulcan | T0L 2B0

Office: (403) 485-2241

Direct: (403) 485-3135

H24

Fax: (403) 485-2920
devassist@vulcancounty.ab.ca

From: [Alena Matlock](#)
To: [REDACTED]@gmail.com; [Bert VandeBruinhorst](#)
Subject: Notice of Decision 23-2024
Date: April 3, 2024 2:40:00 PM
Attachments: [Notice of Decision 23-2024.pdf](#)

Good afternoon,

Please see attached document regarding the decision on Development Permit Application 23-2024 for a Manufactured Dwelling 2. A physical copy has also been sent in the mail. If you have any questions, please feel free to contact me.

Thank you,

Alena Matlock

Development Officer

Vulcan County

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Office: (403) 485-2241

Direct: (403) 485-3135

Fax: (403) 485-2920

devassist@vulcancounty.ab.ca



LAND USE BYLAW NO. 2020-028

March 2021

(Consolidated to Bylaw 2023-029, February 2024)

EXCERPTS



LAND USE DISTRICT REGULATIONS

RURAL GENERAL – RG

PURPOSE: *To protect the agricultural land base of the municipality while allowing non-agricultural developments which complement the area's economy.*

SECTION 1 USES

1.1 Permitted Uses

- Accessory building, structure or use
- Additions to existing buildings
- Agricultural building (e)
- Agricultural operation (e)
- Extensive agriculture (e)
- Home occupation 1 (e)
- Home occupation 2
- Manufactured dwellings 1
- Meteorological tower
- Modular dwellings 1 and 2
- Moved-in building
- Moved-in dwelling
- Ready-to-move dwelling
- Renewable energy, individual
- Shipping container (e)
- Short-Term Rental 1
- Sign, Category 1 (e)
- Sign, Category 2
- Single detached dwelling
- Utilities (e)

1.2 Discretionary Uses – MPC

- Abattoir
- Agricultural Processing
- Agricultural repair shop
- Airstrip
- Animal care service, small and large
- Cemetery and interment services
- Child care facility
- Community hall
- Duplex
- Exhibition centre
- Home occupation 3

Discretionary Uses – DO

- Dwelling unit, combined
- Manufactured dwelling 2
- Second dwelling unit
- Secondary suite
- Sign, Category 3

Discretionary Uses – MPC (continued)

Intensive horticultural operation
Kennel, breeding
Kennel, breeding *(existing)*
Multi-unit dwelling
Mushroom farm
Natural resource extraction and processing
Public building or use
Religious assembly
Renewable energy, commercial/industrial
Riding stable/arena
Rodeo grounds
School
Shooting range *(existing)*
Short-Term Rental 2
Stripping and sale of topsoil
Telecommunication tower
Work camp, long term
Work camp, short term

(e) means “Exempt” and development will not require a development permit if it meets all the provisions of this Bylaw and is in accordance with any applicable requirements in Schedule 3.

SECTION 2 PARCEL AND LOT SIZE

- 2.1 A minimum lot size of 0.4 ha (1 acre) is recommended for any permitted or discretionary use. This may be varied by the Municipal Planning Commission to reasonably accommodate the proposed use. Parcels and lot sizes for all land uses shall be determined by the Municipal Planning Commission. The following parcel sizes apply to the uses listed below.
- 2.2 Extensive Agriculture
- (a) existing parcels;
 - (b) 64.8 ha (160 acres) or an unsubdivided quarter section.
- 2.3 Farmsteads
- (a) existing parcels;
 - (b) flexible maximum based on farmstead definition.
- 2.4 Vacant Country Residential
- (a) existing parcels;
 - (b) minimum of 0.4 ha (1 acre);
 - (c) maximum of 1.2 ha (3 acres).
- 2.5 Confined Feeding Operations
- (a) existing parcels.

SECTION 3 DENSITY

- 3.1 The maximum number of parcels allowed on an unsubdivided quarter section of land shall be two, unless a redesignation process is undertaken and approved.

SECTION 4 MINIMUM SETBACK FROM PROPERTY LINES

- 4.1 All structures and buildings shall be setback 7.6 m (25 ft) from all property lines not fronting on or adjacent to a municipal roadway.

SECTION 5 MINIMUM SETBACKS FROM ROADS

- 5.1 No part of a building or structure shall be located within 38.1 m (125 ft) of the centre line of any public roadway which is not designated as a provincial highway under the *Highways Development and Protection Regulation*.
- 5.2 Any road designated as a provincial highway under the *Highways Development and Protection Regulation* is subject to setbacks as required by Alberta Transportation and any applications for development adjacent to a highway should be referred to Alberta Transportation for a Roadside Development Permit.
- 5.3 No part of any dugout, regardless of size, shall be located within 76.2 m (250 ft) of the right-of-way of a highway or public road.
- 5.4 Dugouts may be allowed closer to the centre line of a highway or public road if a barricade is installed along 100 percent of the length of that part of the dugout fronting the highway or public road and 25 percent of the length of the sides of the dugout.

SECTION 6 MINIMUM SETBACKS FROM IRRIGATION INFRASTRUCTURE

- 6.1 No part of a building or structure shall be located:
- (a) within 10.0 m (33 ft) of the centreline of a Bow River Irrigation District (BRID) irrigation pipeline or 3.0 m (10 ft) of a registered right-of-way or easement for any irrigation pipeline or irrigation canal, whichever is greater;
 - (b) within 60.1 m (200 ft) from any BRID or Alberta Environment water reservoir measured from the water's edge at full supply level (FSL) or 30.5 m (100 ft) from the registered reservoir right-of-way, whichever is greater.

SECTION 7 ACCESS

- 7.1 The municipality may, at the time of subdivision or development, require the developer to enter into an agreement for the construction or upgrade of any approach(es) necessary to serve the development area in accordance with County Design Guidelines.
- 7.2 To ensure proper emergency access, all developments shall have direct legal and physical access to a public roadway in accordance with County Design Guidelines. If the development is within 300 m (984.3 ft.) of a provincial highway, direct legal and physical access to a public roadway shall be to the satisfaction of Alberta Transportation.

- 7.3 The requirement for a service road or subdivision street to provide access may be imposed as a condition of subdivision approval for any new development. Survey and construction costs shall be the responsibility of the applicant.

SECTION 8 ACCESSORY BUILDINGS

- 8.1 An accessory building shall not be used as a dwelling unit except where approval is granted for a Dwelling Unit, Combined.
- 8.2 An accessory building shall be setback a minimum 3.0 m (10 ft) from the principal dwelling and from all other structures on the same lot.
- 8.3 Where a structure is attached to the principal building on a site by a roof, an open or enclosed structure, a floor or foundation, it is to be considered a part of the principal building and is not an accessory building.

SECTION 9 FENCES AND SHELTERBELTS

- 9.1 Agricultural fences constructed of rails, stakes, strung wire, or similar material with more than 85 percent of their surface area open for free passage of light and air may be located along the property boundaries of any agricultural parcel and are not subject to the 38.1 m (125 ft) setback from municipal roads or the required setbacks for the land use district.
- 9.2 Fences used as an enclosure, barrier, boundary, means of protection, privacy screening or confinement constructed of any allowable material (wood, stone/brick, metal, or plastic) with less than 85 percent of their surface area open for free passage of light must be located outside the required setbacks for the land use district and shall not exceed 2.4m (8 ft.) in height.
- 9.3 In rural areas along municipal roads, the construction or erection of a fence, hedge or shelterbelt shall comply with the following:
- (a) no fence, hedge, tree or shelterbelt shall be erected which would unduly restrict the vision of approaching traffic; and
 - (b) no fence, hedge, tree or shelterbelt under Section 9.2 shall be erected closer than 7.6 m (25 ft) of the right-of-way of a municipal road. This provision shall not apply to existing yardsites developed before the passing of this Bylaw.

SECTION 10 SERVICING REQUIREMENTS

- 10.1 Every development shall be required to install a sewage disposal system and potable water system to the satisfaction of the Development Authority and in accordance with any applicable County Design Guidelines.
- 10.2 The Development Authority may refuse a development if the parcel on which it is proposed is not large enough, or suitable in any other way, to support a sewage disposal system to the standard required by the Alberta Private Sewage Systems Standard of Practice or this Bylaw.

SECTION 11 SUBDIVISION

General

- 11.1 The Municipal Planning Commission may only approve one subdivision on an unsubdivided quarter section within the Rural General – RG district. The Municipal Planning Commission may consider a quarter section to be unsubdivided if previous subdivisions were for the purpose of:
- (a) public or quasi-public use;
 - (b) the parcel meets the requirements of 11.4, Agricultural Uses;
 - (c) the parcel meets the requirements of 11.6, Cut-Off or Fragmented Agricultural Parcel; or
 - (d) the parcel meets the requirements of 11.8, Subdivision of Existing Small Titles.

Agricultural Uses

- 11.2 A subdivision for an intensive horticultural use may be treated as an agricultural use and may be permitted as one of the allowable subdivisions from a quarter section.
- 11.3 The Municipal Planning Commission shall not approve an application for subdivision of a parcel on which an existing or proposed confined feeding operation (CFO) is located.
- 11.4 The creation of large agricultural parcels will be considered on a case-by-case basis and may include the following:
- (a) the creation of a 32.4 ha (80 acre) parcel provided there is a minimum residual parcel size of 28.3 ha (70 acres); or
 - (b) logical divisions based on topography or other conditions at the discretion of the Municipal Planning Commission.
- 11.5 A parcel created pursuant to the provisions of the above policy or previous provincial policies may be eligible for the subdivision of an existing farmstead or vacant parcel provided that the proposal is consistent with the requirements established for single lot parcels in 11.10 and 11.11.

Existing Agricultural Parcels

- 11.6 The enlargement, reduction or realignment of an existing separate parcel may be approved provided that:
- (a) the additional lands required are to accommodate existing or related improvements; or
 - (b) the proposal is to rectify or rationalize existing habitation, occupancy, cultivation or settlement patterns; and
 - (c) no additional parcels are created over and above those presently in existence;
 - (d) the proposed new lot and the proposed residual lot will continue to have direct legal and physical access to a public roadway, adequate development setbacks, and a suitable building site; and
 - (e) the size, location and configuration of the proposed lot will not significantly affect any irrigation or transportation system in the area nor the urban expansion strategies of neighbouring municipalities.

Cut-Off or Fragmented Agricultural Parcel

- 11.7 Subdivision of an undeveloped or developed cut-off parcel may be approved if:
- (a) the proposed lot is separated from the residual by:
 - (i) a registered exception from the title,
 - (ii) a feature that creates a significant physical barrier to use of both sides as a unit;
 - (b) the proposed lot has legal access;
 - (c) neither the proposed lot or the residual parcel are occupied by a confined feeding operation.
- 11.8 A parcel created pursuant to the provisions of the above policy or previous provincial policies may be eligible for the subdivision of an existing farmstead or vacant parcel provided that the proposal is consistent with the requirements established for single lot parcels in 11.10 and 11.11 and the residual of the fragmented parcel must be at least 1.2 ha (3 acres) in size.

Subdivision of Existing Small Titles

- 11.9 An existing title of land that is 16.2 ha (40 acres) or less but greater than 2.4 ha (6 acres) may be divided into two parcels if:
- (a) both parcels can accommodate joint access to a public road; and
 - (b) the subdivision does not propose to create more than four titles per quarter.

Single Lot Developed Farmstead

- 11.10 A subdivision that proposes to create a single parcel containing a developed residence or farmstead may be approved provided that:
- (a) the proposed parcel is to be subdivided from a previously unsubdivided quarter section compliant with the farmstead definition with a flexible maximum parcel size based on the improvements; and
 - (b) **Farmstead** means a part of a parcel that:
 - (i) is presently or was formerly used as a single detached dwelling;
 - (ii) is further developed with agricultural buildings such as quonsets and grain bins, accessory buildings, structures such as corrals, storage compounds and/or storage or areas used for farm machinery, produce and fertilizer, dugout and/or water well or municipal rural water and septic system;
 - (iii) is of a compact size and physically defined by topography, shelterbelts or other physical characteristics;
 - (iv) does not include any cultivated farmland or lands suitable for agricultural production unless included within a shelter belt and/or physically defined area. Fencing alone shall not constitute a physically defined area if it encompasses agricultural land or hazard lands that are not necessary for the habitation of the proposed subdivision and that may be left with the larger agricultural parcel unless impractical to do so; limited pasture land used for grazing of animals may be included where the lands are part of a developed yard site; and
 - (c) the proposed lot on which the dwelling is located and the proposed residual parcel have direct legal and/or physical access to a public roadway;
 - (d) the access is satisfactory to Alberta Transportation where the access is onto or in close proximity to a primary highway;

- (e) the size and location of the proposed lot will not significantly affect any irrigation system in the area;
- (f) the dwelling unit located on the proposed parcel can meet or exceed the minimum distance separation (MDS) requirements from an existing confined feeding operation, as established in the *Agricultural Operation Practices Act, Standards and Administration Regulation*; and
- (g) the residual parcel size after subdivision is to be flexible based on the proposal for subdivision.

Single Lot Vacant

11.11 A subdivision which proposes to create a single vacant parcel may be approved provided that:

- (a) the proposed parcel to be created is a maximum of 1.2 ha (3.0 acres) in size;
- (b) the proposed single residential lot contains, in the opinion of the Municipal Planning Commission, a buildable site;
- (c) the proposed single residential lot can be serviced to the satisfaction of the Municipal Planning Commission;
- (d) the development on the proposed single residential lot will not, in the opinion of the Municipal Planning Commission, inhibit public access to or otherwise have a detrimental effect on agriculture or the recreational use of a river valley, water body, environmentally sensitive area or special scenic location;
- (e) the proposed lot and the residual parcel both have direct legal and physical access to a public roadway;
- (f) the access is satisfactory to Alberta Transportation where the access is onto or in close proximity to a primary highway; and
- (g) the size and location of the proposed lot will not significantly affect any irrigation system in the area.

Public and Institutional Uses

11.12 A subdivision application for public or institutional uses may be recommended for approval if:

- (a) the Municipal Planning Commission is satisfied that suitable, existing alternative parcels are not reasonably available in another land use district;
- (b) the legal and physical access, including access to the residual agricultural lot, satisfies Alberta Transportation, in the case of a provincial highway or the Municipal Planning Commission in the case of municipal roads; and
- (c) the Municipal Planning Commission is satisfied that the use is primary, suitable, serviceable and will be developed as proposed; and
- (d) where already functioning, the application encompasses the developed site only.

11.13 The conversion of small parcels established for public or institutional purposes to other uses should be limited to those developments which, in the opinion of the Municipal Planning Commission, are considered appropriate and compatible with surrounding uses.

SECTION 12 LAND SUITABILITY AND SERVICING REQUIREMENTS – See Schedule 4.

SECTION 13 STANDARDS OF DEVELOPMENT – See Schedule 5.

- 26.4 When a landscaping plan is required by the Development Authority, it shall include the following information:
- (a) boundaries and dimensions of the subject site;
 - (b) location of all buildings, parking areas, driveways, pathways, and all other physical features;
 - (c) the existing topography;
 - (d) location and type of all existing plant materials to be retained;
 - (e) location and type of all new plant materials;
 - (f) plant material list identifying the name, quantity and size of plant materials;
 - (g) the layout and type of soft and hard landscaped areas;
 - (h) details of the method of irrigation; and
 - (i) maintenance procedure to ensure vegetation survival.
- 26.5 Landscaping may consist of any or all of the following:
- (a) trees, shrubs, lawn, flowers;
 - (b) large feature rocks, bark chips, field stone (limit of 25 percent of total landscaped area);
 - (c) berming, terracing;
 - (d) other innovative landscaping features.
- 26.6 Additional landscaping that may be required at the discretion of the Development Authority may include, but is not limited to the following:
- (a) strips of soft vegetation, or buffering, between adjacent land uses;
 - (b) the use of trees, shrubs, fences, walls, and berms to buffer or screen land uses;
 - (c) the use of trees, shrubs, planting beds, street furniture and surface treatments to enhance the appearance of a proposed development.
- 26.7 Within hamlets and the Grouped Reservoir Residential district, the front yard shall be comprehensively landscaped. The landscaping of lots shall be carried out within two years of the date a development permit is issued, to the satisfaction of the Development Authority.
- 26.8 All landscaping that is required and approved as part of a development permit is a permanent obligation of the development permit and shall be maintained for the life of the development in accordance with accepted horticultural practises.
- 26.9 The Development Authority may require, as a condition of development permit, guaranteed security to ensure that landscaping is provided and maintained for a period of one year.

SECTION 27 MANUFACTURED / MODULAR / READY-TO-MOVE / MOVED-IN DWELLING STANDARDS

Eligible Dwellings

27.1 Manufactured Dwelling 1:

- (a) new factory-built units within the past year of application for a permit;
- (b) not previously occupied; and

(c) constructed to current Canadian Standards Association (CSA) certified units.

27.2 Manufactured Dwelling 2:

- (a) used factory-built units, not constructed prior to 1985 and in a good state of repair (to the satisfaction of the Development Authority); and
- (b) constructed to the Canadian Standards Association (CSA) or other applicable standard of the day.

27.3 Modular Dwelling 1:

- (a) new units built within the past year of application for a permit and not previously occupied;
- (b) current Canadian Standards Association (CSA) certified units;
- (c) the minimum roof pitch shall not be less than a 4/12 pitch;
- (d) the minimum floor area of the principal dwelling not including attached garage shall not be less than 74.3 m² (800 ft²);
- (e) the dwelling shall be a minimum 7.3 m (24 ft) in width;
- (f) must be placed on a basement foundation.

27.4 Modular Dwelling 2:

- (a) a new unit placed on a permanent foundation other than a basement;
- (b) a previously occupied unit placed on a permanent foundation with a basement.

27.5 Ready-to-move dwellings:

- (a) new units built within the past year of application for a permit; and
- (b) not previously occupied.

27.6 Moved-in dwellings:

- (a) previously occupied dwellings.

Application Requirements for Previously Occupied Dwellings

27.7 Any application for a development permit to locate a previously occupied dwelling (of any type):

- (a) shall include recent colour photographs of all elevations including additions and decks;
- (b) a professional dwelling inspection;
- (c) accurate site plan for the location to which the building is to be placed or moved;
- (d) floor plan;
- (e) application fee as established by Council, and
- (f) must be CSA certified units (if applicable).

Foundations, Basements, and Roof Lines

27.8 Units shall be placed on foundations which conform to provincial building code requirements.

27.9 All dwellings not placed on a basement shall be skirted in accordance with provincial building code requirements and to the satisfaction of the Development Authority.

- 27.10 Any portion of a concrete block foundation above grade shall be parged or finished with another approved material.
- 27.11 The maximum height of the exposed portion of a concrete block foundation shall be not more than 0.9 m (3 ft) above the average finished grade level of the surrounding ground.
- 27.12 The Development Authority may require that a dwelling within the a Grouped Country Residential, Grouped Reservoir Residential, or Hamlet land use district, be placed on a continuous concrete foundation in order to improve the compatibility of the development with adjacent land uses.

Additions

- 27.13 Addition requirements:
- (a) any additions, such as enclosed patios, entrance porches, carports, additional rooms, or any other roofed structure, shall require a development permit;
 - (b) all dwelling additions shall be of a design and finish which will complement the unit;
 - (c) the materials and colours used in the construction of additions shall be of a quality, style and design which will match or complement the dwelling;
 - (d) materials used shall be those commonly used for exterior finishing of residences.

Development Permit Conditions

- 27.14 As a condition of approval the Development Authority, at its discretion, may place other conditions on a development permit including the requirement that the developer provide landscaping, fencing, address drainage issues, or other such matters it considers necessary if, in its opinion, they would serve to improve the quality or compatibility of any proposed development.
- 27.15 The Development Authority may require a security deposit of a minimum \$1000.00 to a maximum value of up to 50 percent of the assessed value of the building to ensure the conditions of the development permit are met.
- 27.16 In deciding on an application, including establishing any conditions of approval, the Development Authority shall have regard to the potential impact on existing and proposed uses in the vicinity of the proposed site.
- 27.17 Any impacts to the dwelling arising from transportation to its final destination shall be disclosed and rectified to the satisfaction of the Development Authority.
- 27.18 Occupancy of the dwelling is not allowed until all requirements of the *Safety Codes Act* regarding the provision of potable water and sanitary sewage disposal are complied with.

SECTION 28 MOTOR SPORTS PARK

- 28.1 Setbacks for outdoor motor sports parks are 2.4 km (1.5 miles) from schools, residences, campgrounds, hospitals, parks, playgrounds, churches and other institutions, recreational trails and known habitat of rare, threatened or endangered animal species, migratory bird sanctuaries, protected natural areas designated under legislation, regionally significant areas, deer wintering areas and confined feeding operations.

DUGOUT means an excavation specifically sited and constructed for the purpose of catching and storing water. Depending on the circumstances, the dugout may be intended for either seasonal use or permanent use. For use purposes these may be considered as an **ACCESSORY STRUCTURE**.

DUPLEX means a residential structure that contains two separately owned dwelling units on one parcel of land. Typically the duplex will have separate entrances for each owner but the two units will be connected either by a common floor/ceiling, or by a common wall (party wall) between units.

DWELLING UNIT means a structure built for the purpose of being a self-contained living premises, designed to be occupied by an individual or family or other household group, in which facilities are included for cooking, sanitation, and sleeping. Such units include, but are not limited to, single-unit dwellings, modular dwellings, duplexes, apartments, manufactured dwellings and moved-in buildings for residential use.

DWELLING UNIT, COMBINED means a dwelling unit that is contained, wholly or partly, within an accessory building that appears, predominantly, as an accessory building.

DWELLING, MANUFACTURED 1 means a completely self-contained dwelling unit, designed and constructed entirely within a factory setting. A manufactured dwelling 1 refers to a new structure, and one that has not been previously occupied or used as a show home. Typically, it is transported to a site in not more than one piece on its own chassis and wheel system or on a flatbed truck. For the purposes of this Bylaw, a manufactured dwelling does not include a “modular dwelling” or “ready-to-move dwelling”.

DWELLING, MANUFACTURED 2 has the same meaning as manufactured dwelling 1, except that it has been occupied previously as a dwelling.

DWELLING, MODULAR 1 means a dwelling unit built at an off-site manufacturing facility in conformance with CSA standards designed in two or more modules or sections. The dwelling is transported by transport trailer in sections and delivered to the site where it is assembled and placed on a contiguous concrete basement.

DWELLING, MODULAR 2 means a dwelling unit built at an off-site manufacturing facility in conformance with CSA standards designed in two or more modules or sections. The dwelling is transported by transport trailer in sections and delivered to the site where it is assembled and placed on approved foundation other than a contiguous concrete basement.

DWELLING, MOVED-IN means a previously existing, established and occupied dwelling, which is removed from one site and then transported and re-established on another site. For the purposes of this Bylaw, a moved-in building does not include a “manufactured dwelling”, “modular dwelling”, “ready-to-move dwelling”, motor home, travel trailer, recreation vehicle and any similar vehicles that are neither intended for permanent residential habitation nor subject to the current provincial building requirements.

DWELLING, MULTI-UNIT means a residential building that contains three or more dwelling units where each unit is provided with its own separate primary access to the outside.

DWELLING, READY-TO-MOVE means a previously unoccupied dwelling constructed at a place other than its permanent location (off-site) which is built to current Alberta Safety Codes Standards and is transported in whole or in parts, complete with paint, cabinets, floor covering, lighting and plumbing fixtures, to a site and placed on a permanent wood or concrete basement foundation. For purposes of this Bylaw, a ready-to-move dwelling does not include a manufactured dwelling, modular dwelling or moved-in building.

DWELLING, SECOND means a standalone additional dwelling unit on a lot which is not contained within the principal residence. A secondary dwelling unit may be a manufactured dwelling, ready-to-move dwelling, modular, moved-

in dwelling or a site-built dwelling/accessory building in accordance with the land use district it is proposed to be located within.

DWELLING, SINGLE DETACHED means a freestanding residential dwelling containing one dwelling unit stick built on site, not forming part of and not physically attached to any other dwelling or structure.

E

ENTERTAINMENT ESTABLISHMENT means a use that provides dramatic, musical, dancing or cabaret entertainment and includes supplementary food service and/or facilities for alcoholic beverage consumption.

EQUIPMENT SALES, RENTAL AND SERVICE means development for the retail sale, wholesale distribution, rental and/or service of hand tools, small construction, farming, gardening and automotive equipment, small machinery parts and office machinery and equipment.

EXHIBITION CENTRE means the use of land or building, public or private, for temporary events including seasonal shows, conventions, conferences, seminars, product displays or sale of goods, recreation activities, and entertainment functions. This use may include accessory functions including food and beverage preparation and service for on-premise consumption.

F

FARM/INDUSTRIAL MACHINERY SALES, RENTAL AND SERVICE means the use of land or buildings for the sale, service and/or rental of agricultural implements and heavy machinery used in the operation, construction or maintenance of buildings, roadways, pipelines, oil fields, mining, or forestry operations, and in freight hauling operations. Cleaning, repairing and sale of parts and accessories may be allowed as part of the principal use.

FARM SUPPLY AND SERVICE means a commercial operation established for the sale, storage and distribution of agricultural products, including grain and other crop products (including elevators), livestock feed and supplements, fertilizers and chemicals. Such a facility may include an administrative office, ancillary structures, outdoor work areas, parking, and outdoor storage areas.

FARMER'S MARKET means the use of land or buildings where fresh farm or garden produce is sold in retail or wholesale setting and where goods are typically displayed in bulk bins or stalls for customer selection. This use includes vendors of fruit, vegetables, meat products, baked goods, dry goods, spices and non-food products such as handicrafts, provided that the sale of fresh food products remains the primary function.

FARMING means the use of a parcel of land and/or buildings for the raising of livestock or the production of crops. This type of use does not include a confined feeding operation for which registration and approval is required from the Natural Resources Conservation Board.

FEED MILLS/GRAIN TERMINALS means a facility for the collection, grading, processing, storage, and shipping and receiving of grain crops.

FLEET AND TRANSPORTATION SERVICES 1 means development involving a fleet of vehicles for:

- (a) the delivery of food by mobile catering service; or
- (b) the transportation of people, mail, negotiable currency and documents; or
- (c) the delivery of packages and small articles by courier service.

- 26.4 When a landscaping plan is required by the Development Authority, it shall include the following information:
- (a) boundaries and dimensions of the subject site;
 - (b) location of all buildings, parking areas, driveways, pathways, and all other physical features;
 - (c) the existing topography;
 - (d) location and type of all existing plant materials to be retained;
 - (e) location and type of all new plant materials;
 - (f) plant material list identifying the name, quantity and size of plant materials;
 - (g) the layout and type of soft and hard landscaped areas;
 - (h) details of the method of irrigation; and
 - (i) maintenance procedure to ensure vegetation survival.
- 26.5 Landscaping may consist of any or all of the following:
- (a) trees, shrubs, lawn, flowers;
 - (b) large feature rocks, bark chips, field stone (limit of 25 percent of total landscaped area);
 - (c) berming, terracing;
 - (d) other innovative landscaping features.
- 26.6 Additional landscaping that may be required at the discretion of the Development Authority may include, but is not limited to the following:
- (a) strips of soft vegetation, or buffering, between adjacent land uses;
 - (b) the use of trees, shrubs, fences, walls, and berms to buffer or screen land uses;
 - (c) the use of trees, shrubs, planting beds, street furniture and surface treatments to enhance the appearance of a proposed development.
- 26.7 Within hamlets and the Grouped Reservoir Residential district, the front yard shall be comprehensively landscaped. The landscaping of lots shall be carried out within two years of the date a development permit is issued, to the satisfaction of the Development Authority.
- 26.8 All landscaping that is required and approved as part of a development permit is a permanent obligation of the development permit and shall be maintained for the life of the development in accordance with accepted horticultural practises.
- 26.9 The Development Authority may require, as a condition of development permit, guaranteed security to ensure that landscaping is provided and maintained for a period of one year.

SECTION 27 MANUFACTURED / MODULAR / READY-TO-MOVE / MOVED-IN DWELLING STANDARDS

Eligible Dwellings

27.1 Manufactured Dwelling 1:

- (a) new factory-built units within the past year of application for a permit;
- (b) not previously occupied; and

(c) constructed to current Canadian Standards Association (CSA) certified units.

27.2 Manufactured Dwelling 2:

- (a) used factory-built units, not constructed prior to 1985 and in a good state of repair (to the satisfaction of the Development Authority); and
- (b) constructed to the Canadian Standards Association (CSA) or other applicable standard of the day.

27.3 Modular Dwelling 1:

- (a) new units built within the past year of application for a permit and not previously occupied;
- (b) current Canadian Standards Association (CSA) certified units;
- (c) the minimum roof pitch shall not be less than a 4/12 pitch;
- (d) the minimum floor area of the principal dwelling not including attached garage shall not be less than 74.3 m² (800 ft²);
- (e) the dwelling shall be a minimum 7.3 m (24 ft) in width;
- (f) must be placed on a basement foundation.

27.4 Modular Dwelling 2:

- (a) a new unit placed on a permanent foundation other than a basement;
- (b) a previously occupied unit placed on a permanent foundation with a basement.

27.5 Ready-to-move dwellings:

- (a) new units built within the past year of application for a permit; and
- (b) not previously occupied.

27.6 Moved-in dwellings:

- (a) previously occupied dwellings.

Application Requirements for Previously Occupied Dwellings

27.7 Any application for a development permit to locate a previously occupied dwelling (of any type):

- (a) shall include recent colour photographs of all elevations including additions and decks;
- (b) a professional dwelling inspection;
- (c) accurate site plan for the location to which the building is to be placed or moved;
- (d) floor plan;
- (e) application fee as established by Council, and
- (f) must be CSA certified units (if applicable).

Foundations, Basements, and Roof Lines

27.8 Units shall be placed on foundations which conform to provincial building code requirements.

27.9 All dwellings not placed on a basement shall be skirted in accordance with provincial building code requirements and to the satisfaction of the Development Authority.

- 27.10 Any portion of a concrete block foundation above grade shall be parged or finished with another approved material.
- 27.11 The maximum height of the exposed portion of a concrete block foundation shall be not more than 0.9 m (3 ft) above the average finished grade level of the surrounding ground.
- 27.12 The Development Authority may require that a dwelling within the a Grouped Country Residential, Grouped Reservoir Residential, or Hamlet land use district, be placed on a continuous concrete foundation in order to improve the compatibility of the development with adjacent land uses.

Additions

- 27.13 Addition requirements:
- (a) any additions, such as enclosed patios, entrance porches, carports, additional rooms, or any other roofed structure, shall require a development permit;
 - (b) all dwelling additions shall be of a design and finish which will complement the unit;
 - (c) the materials and colours used in the construction of additions shall be of a quality, style and design which will match or complement the dwelling;
 - (d) materials used shall be those commonly used for exterior finishing of residences.

Development Permit Conditions

- 27.14 As a condition of approval the Development Authority, at its discretion, may place other conditions on a development permit including the requirement that the developer provide landscaping, fencing, address drainage issues, or other such matters it considers necessary if, in its opinion, they would serve to improve the quality or compatibility of any proposed development.
- 27.15 The Development Authority may require a security deposit of a minimum \$1000.00 to a maximum value of up to 50 percent of the assessed value of the building to ensure the conditions of the development permit are met.
- 27.16 In deciding on an application, including establishing any conditions of approval, the Development Authority shall have regard to the potential impact on existing and proposed uses in the vicinity of the proposed site.
- 27.17 Any impacts to the dwelling arising from transportation to its final destination shall be disclosed and rectified to the satisfaction of the Development Authority.
- 27.18 Occupancy of the dwelling is not allowed until all requirements of the *Safety Codes Act* regarding the provision of potable water and sanitary sewage disposal are complied with.

SECTION 28 MOTOR SPORTS PARK

- 28.1 Setbacks for outdoor motor sports parks are 2.4 km (1.5 miles) from schools, residences, campgrounds, hospitals, parks, playgrounds, churches and other institutions, recreational trails and known habitat of rare, threatened or endangered animal species, migratory bird sanctuaries, protected natural areas designated under legislation, regionally significant areas, deer wintering areas and confined feeding operations.