

Municipality of Crowsnest Pass  
CHINOOK INTERMUNICIPAL  
SUBDIVISION & DEVELOPMENT APPEAL BOARD

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**June 3, 2026**

**10:00 a.m.**

**Hearing No. DP2026-025 & 2026-028**

**Appellant: Phil & Leah McNeil**

**Applicant: Derek Havens**

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LIST OF EXHIBITS

- A. Notice of Hearing and Location Sketch Map
- B. List of Persons Notified
- C. Notice of Appeal with Reasons
- D. Notice of Decision DP2026-025 & 2026-028 dated April 23, 2026
- E. Development Permit Applications DP2026-025 & 23026-028
- F. Photo Package of Site and Area Features
- G. Municipal Planning Commission Minutes
- H. Development Authority Position Statement
- I. Excerpts from Municipality of Crowsnest Pass Land Use Bylaw 1165, 2023

# MUNICIPALITY OF CROWSNEST PASS

## NOTICE OF CHINOOK INTERMUNICIPAL SUBDIVISION AND DEVELOPMENT APPEAL BOARD HEARING Development Permit No. DP2026-025 & DP2026-028

THIS IS TO NOTIFY YOU THAT IN ACCORDANCE WITH SECTION 686 OF THE MUNICIPAL GOVERNMENT ACT, REVISED STATUTES OF ALBERTA, 2000, CHAPTER M-26, AS AMENDED, A PANEL OF THE CHINOOK INTERMUNICIPAL SUBDIVISION AND DEVELOPMENT APPEAL BOARD WILL HEAR AN APPEAL OF A DECISION BY THE:

**Development Authority of the Municipality of Crowsnest Pass  
with respect to Development Permit Application DP2026-025 & DP2026-028**

<b>APPELLANT:</b>	<b>Phil &amp; Leah McNeil</b>
<b>APPLICANT:</b>	<b>Derek Havens</b>
<b>LEGAL DESCRIPTION: (SUBJECT PROPERTY)</b>	Lot 13 & 14, Block 19, Plan 232A1 (6510 & 6514 22 Avenue, Coleman)
<b>PROPOSAL:</b>	For a "Duplex / Semi- Detached Dwelling" (discretionary use) with a 2% variance to the maximum height and a proposed 51% variance to the front yard setback.
<b>DECISION:</b>	Approved
<b>PLACE OF HEARING:</b>	<b>Municipality of Crowsnest Pass Administration Office Council Chambers</b>  8502 19 Avenue, Coleman, Alberta
<b>DATE OF HEARING:</b>	<b>Wednesday, June 3, 2026</b>
<b>TIME OF HEARING:</b>	<b>10:00 A.M.</b>

### PROCEDURES PRIOR TO THE HEARING:

1. **Provide Written Submissions** - The Appeal Board encourages all hearing participants to submit presentations, letters, and comments to the Board prior to the hearing. It is preferred that written material is emailed to the Board Clerk, ideally in a PDF format, in 1 file. Please contact the Clerk with your written submissions, which will be accepted until **noon (12 p.m.) on May29, 2026.**

EMAIL: [gavinscott@orrsc.com](mailto:gavinscott@orrsc.com)

MAIL: **Gavin Scott, Board Clerk**  
**Oldman River Regional Services Commission**  
**3105 – 16<sup>th</sup> Avenue N., Lethbridge, Alberta T1H 5E8**

*If you are bringing information to the hearing for submission, you are required to supply 12 copies.*

2. **Exhibit Viewing** - The initial appeal exhibit package will be posted on the ORRSC website at [www.orrsc.com](http://www.orrsc.com).

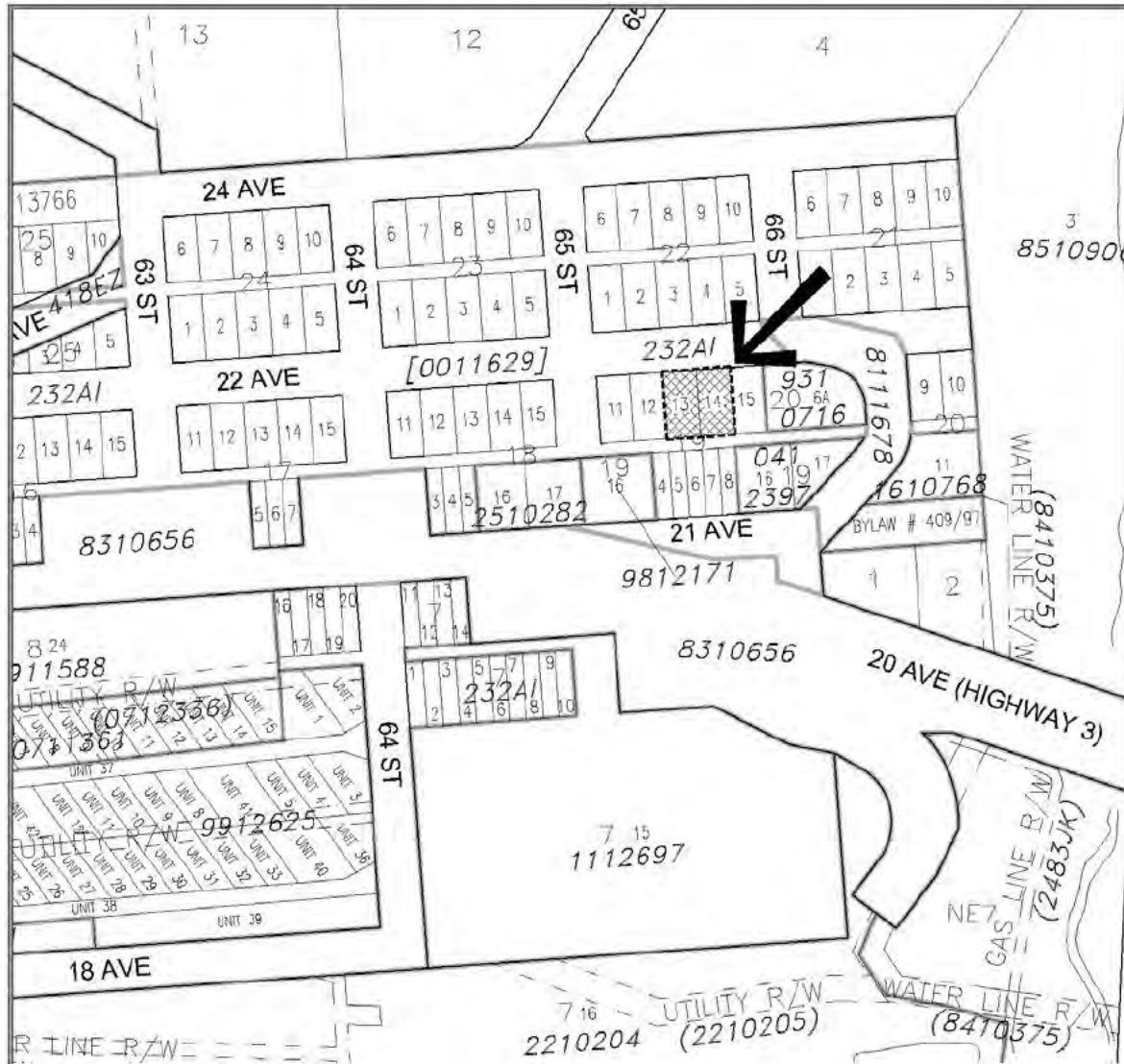
DATE: May 15, 2026

  
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**Gavin Scott, Clerk**  
**Subdivision & Development Appeal Board**

# MUNICIPALITY OF CROWSNEST PASS

## CHINOOK INTERMUNICIPAL SUBDIVISION AND DEVELOPMENT APPEAL BOARD

**Land Subject of Appeal DP2026-025 & DP2026-028**  
**Lot 13 & 14, Block 19, Plan 232AI**  
**(6510 & 6514 22 Avenue, Coleman, AB)**



**LOCATION SKETCH**

**LOT 13-14, BLOCK 19, PLAN 232AI**  
**WITHIN NE 1/4 SEC 7, TWP 8, RGE 4, W5 M**

**MUNICIPALITY: CROWSNEST PASS (COLEMAN)**

**DATE: MAY 13, 2026**

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**MUNICIPALITY OF CROWSNEST PASS  
CHINOOK INTERMUNICIPAL  
SUBDIVISION & DEVELOPMENT APPEAL BOARD**

Development Permit No. DP 2026-025 & 2026-028

List of Persons Notified

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**Municipality:**

Municipality of Crowsnest Pass:  
CAO  
Manager of Development & Trades  
Development Officer

ORRSC Planner, Ryan Dyck

**SDAB Members:**

Bjorn Berg  
Don Anderberg  
Colleen MacDonald  
Evert Van Essen  
Rupert Hewison

**Appellant:**

Phillip R. & Leah J. Mcneil

**Applicant:**

Derek Havens

**Other Persons Notified:**

Bratcher, Leslie L.  
Coupe, Toni J. & Timothy S. T.  
Mangion, Graham  
Dyer, Lori  
Valley, Richard



## Subdivision and Development Appeal Board (SDAB) Appeal Form

**NOTE: This appeal is not considered submitted until the appeal fee has been received by our office. To pay by credit card, please phone 403-562-8833. To pay by any other method, please visit 8502 - 19 Avenue, Coleman.**

This form is not intended for appeals where there is a provincial interest. If the subdivision and development you wish to appeal has a provincial interest, please fill out the Land & Property Rights Tribunal Subdivision and Appeal Forms found at <https://www.alberta.ca/subdivision-appeals.aspx>

### Applicant Information

**Name \***

Phil & Leah McNeil

**Mailing Address \***

[REDACTED]

**E-mail \***

[REDACTED]

**Phone Number \***

403 583 4250

### Details of Appeal

**Appeal Deadline \***

The appeal deadline is indicated on the notice.

2026-05-14

**Is this an appeal for: \***

Development Permit

Subdivision

Stop Order

**Development Permit Number \***

DP2026-025 / DP2026-028

**Are you? \***

Original Applicant

Concerned Resident

**Documents for Appeal**

Please include a pdf or text document with the details of your appeal application and any other supporting documents you may have

DP 2026-25 & 28 Development Plan Objection letter.docx

15.83KB

Photo Package Development Permit Application DP2026-25 – 6514 22 Avenue.pdf

14.36MB

DP 2026-25 & 28 Objections Point Form.docx

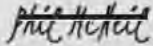
20.32KB

**Signature \***

NOTE: This appeal is not considered submitted until the appeal fee has been received by our office. If the form and/or fee are not received by this office before the deadline, this appeal will not be considered.

**Date Submitted**

2026-05-09



## Payment Received

**Date Payment Received**

2026-05-11

**Receipt**

C\_Cash Receipt-Form 3.pdf

26.87KB

## Assistant Development Officer

**Taxroll**

1148601 &amp; 1148600

**Development Permit Application Form**

DP2026-025 Devpt Application.pdf

694.08KB

DP2026-028 Devpt Application.pdf

613.65KB

**Development Permit or Notice of Decision**

If one exists

DP2026-025 Notice of Decision APRIL 23 2026.pdf

4.2MB

**Adjacent Landowner Mail-Out List**

DP2026-025 ALO List.xlsx

179.77KB

**Other Supporting Documents**

Please include the checklist from ORRSC

DP2026-028 Notice of Decision APRIL 23 2026.pdf

4.4MB

ALO List.xlsx

150.83KB

**Subdivision and Development Appeal Board (SDAB) - DP2026-25 – 6514 22 Avenue  
and Related Application DP2026-28 – 6510 22 Avenue**

**Objections Point Form**

- I am not opposing development without reason.
  - My concern is that the proposal creates foreseeable and avoidable drainage and infrastructure impacts on adjacent properties and municipal infrastructure.
  - Existing drainage problems already occur in this area, and this proposal will intensify them.
- 

**Key Drainage Concerns**

**Increased Runoff**

- The development will increase hard surface area:
  - Roofs
  - Driveways
  - Parking stalls
  - Compacted ground surfaces
- Increased impermeable surfaces result in faster and greater runoff volumes.

**Direction of Water Flow**

- Runoff will not remain contained on-site.
- Water will flow:
  - Onto my adjacent bare land property
  - Down the street
  - Across my driveway
  - Across the lawn in front of my home
  - Around the corner toward the highway

**Existing Problems Already Occur**

- The area already experiences erosion and pavement deterioration during runoff events.

- There are currently no proper curb and gutter system to safely contain or direct water.
- Existing pavement already acts as an informal drainage path and has been damaged previously.

### **Increased Velocity**

- Additional runoff volume will increase water velocity downhill.
  - Increased velocity increases:
    - Erosion risk
    - Infrastructure deterioration
    - Risk to adjacent private property
- 

### **Engineering / Technical Concerns**

#### **Lack of Engineered Drainage Information**

- I have not seen:
  - A detailed grading plan
  - Stormwater calculations
  - Runoff mitigation details
  - Post-development flow analysis
- No evidence has been presented showing:
  - Water will remain on-site
  - Post-development runoff will match pre-development conditions

#### **Need for Professional Review**

- A qualified engineer should confirm:
    - Drainage capacity
    - Runoff containment
    - Erosion mitigation
    - Safe discharge points
    - Impacts to downhill infrastructure
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## Closing Statement

- My concerns are based on existing site conditions, observable drainage behaviour, and the absence of demonstrated mitigation measures.
- I am requesting reasonable engineering accountability before approval proceeds.
- Development should not create increased risk or damage to neighbouring properties or municipal infrastructure.

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## Additional Runoff Volume Information

### Proposed Duplex Roof Areas

- 179 m<sup>2</sup> per duplex
- Total roof area for two duplexes = 358 m<sup>2</sup>

### 10 mm Rainfall Event

$$V = 358 \text{ m}^2 \times .01 \text{ m} = 3.58 \text{ m}^3$$

- Approximately **3,580 litres** of runoff water from roof surfaces alone.

### 50 mm Rainfall Event

$$V = 358 \text{ m}^2 \times .05 \text{ m} = 17.9 \text{ m}^3$$

- Approximately **17,900 litres** of runoff water from roof surfaces alone.

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## Proposed Parking Areas

- 48 m<sup>2</sup> parking area × 2
- Total parking area = 96 m<sup>2</sup>

### 10 mm Rainfall Event

$$V = 96 \text{ m}^2 \times .01 = .960 \text{ m}^3$$

- Approximately **960 litres** of runoff water from parking surfaces alone.

### 50 mm Rainfall Event

$$V = 96 \text{ m}^2 \times .05 = 4.8 \text{ m}^3$$

- Approximately **4,800 litres** of runoff water from parking surfaces alone.

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### Combined Runoff Totals

Rainfall Event	Roof Runoff	Parking Runoff	Total Runoff Volume
10 mm Rainfall	3,580 litres	960 litres	4,540 litres
50 mm Rainfall	17,900 litres	4,800 litres	22,700 litres

### Additional Supporting Point

- A single heavy rainfall event could generate approximately **22,700 litres of concentrated runoff water** from the proposed roof and parking surfaces alone.
- Without proper engineered drainage controls and stormwater management infrastructure, this runoff will inevitably flow downhill toward adjacent properties and municipal infrastructure.
- This concern is amplified by the existing absence of curb and gutter infrastructure and the already documented erosion issues occurring in the area.



**Box 600**  
**Crowsnest Pass, Alberta,**  
**T0K 0E0**  
**Phone: 403-562-8833**  
**Fax: 403-563-5474**

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## Notice of Decision

Application No.	DP2026-025
Roll No.	1148601
Application Complete:	Mar 17, 2026
Notice of Decision:	April 23, 2026
Appeal Period Expires:	May 14, 2026

This is not a  
Development Permit

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Approving Authority:	Municipal Planning Commission
Land Use District:	Residential R-1
Civic Address:	6514 22 <sup>nd</sup> Avenue, Coleman
Legal Land Description:	Lot 14 Block 19 Plan 232A1
Proposed Development:	For a “Duplex / Semi- Detached Dwelling” (discretionary use) with a 2% variance to the maximum height and a proposed 51% variance to the front yard setback.

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Dear Sir or Madam:

Please be advised that the **Development Permit application DP2026-025 was approved** subject to the following conditions:

1. The Development Permit approved in this Notice of Decision shall not be issued and shall be of no effect, and construction / placement of the development shall not commence, until all “Prior to Issuance Conditions” stated in this Notice of Decision have been met or fulfilled.
2. This Notice of Decision shall remain effective for a period of six (6) months and shall then expire and be deemed null and void unless the applicant or landowner (proponent of the proposed development) to whom the Notice of Decision was issued continues to collaborate with the Development Authority to satisfy or complete the “Prior to Issuance Conditions” and, if required, an extension is approved by the Development Authority.

**Prior to Issuance Conditions** (these conditions are to be satisfied prior to issuance of a development permit and will only form part of the Notice of Decision and not part of the formal development permit issued however, the development permit shall be of no effect until these conditions have been satisfied)

3. An appeal period of twenty-one (21) days from the date of the Development Authority’s Notice of Decision applies, and if any appeals are submitted the development permit shall not be issued until

such appeals are dealt with by the Subdivision and Development Appeal Board or the Land and Property Rights Tribunal, as may be applicable.

4. The applicant / landowner shall provide a slope stability assessment with recommendations for foundation design and site grading, stamped and permitted by a professional engineer demonstrating the viability and safety of the proposed development pursuant to Schedule 4, section 17.2.

**Time Specific Conditions After Issuance** (deadline for enforcement or for the validity of the development permit)

5. Pursuant to Schedule 4, section 21.5 in the Land Use Bylaw, the property shall be serviced with a single water and wastewater service connection, except as required in par. 5a):
  - a) If a subdivision has been approved and registered at the Land Titles Office, whereby the subject property is subdivided into two certificates of title for each of the half duplex units, then the landowner / applicant shall enter into a service connection agreement with the Municipality to bring a water and wastewater service connection to the property line of each titled parcel, stubbed from the existing water and wastewater mains in 22Ave, at no cost to the Municipality.
6. The applicant or landowner shall commence the approved development and carry it out with reasonable diligence, in the opinion of the Development Officer, within 12 months from the date of issuance of the development permit and / or within the specific timelines and by the specific deadlines stated in this development permit, otherwise the permit shall be deemed to be null and void (for this purpose, "commence" may include applying for a building permit under the Safety Codes Act).
7. When a development permit involves construction, the applicant or landowner shall complete exterior work to the Development Officer's satisfaction within 36 months after the date of the issuance of the development permit (regardless of the date of issuance of a building permit under the safety Codes Act or the date of the start of construction) and / or within the specific timelines and by the specific deadlines stated in this development permit, otherwise the applicant or landowner shall be deemed to be in contravention of the development permit conditions.
8. The landowner or applicant shall confirm permitting requirements for the proposed building / structure with the discipline specific Safety Codes Officer, and shall provide to the Development Officer copies of Safety Codes permit applications (Building, Electrical, Gas, Plumbing, Private Sewage Disposal System) when the same are made or copies of Safety Codes permits issued immediately upon issuance to demonstrate that such applications or permits are consistent with the development permit issued for the proposed development.

**Conditions of a Continuing Nature (Permanent Conditions)**

9. The applicant or landowner shall ensure that the development complies with and is carried out and completed in its entirety in conformance with the attached approved site plan and the development standards in the Land Use Bylaw 1165, 2023 (except as approved by variance in the table below). Failure to conform to the approved site plan without an approved amendment may result in enforcement measures pursuant to the Municipal Government Act and the Land Use Bylaw:

Duplex / Semi-Detached Dwelling	Standard	Proposed	Variance
Front Yard Setback	6.1m	3.0m	51% 3.1m
Rear Yard Setback	7.6m	12m	N/A
Side Yard Setback (East)	1.5m	1.83m	N/A
Side Yard Setback (West)	1.5m	1.83m	N/A

<b>Maximum Height – two storey walkout basement</b>	13m	13.3m	2% 0.3m
<b>Maximum Lot Coverage on one certificate of title (lot area 465.88m<sup>2</sup>)</b>	45% (209.65m <sup>2</sup> )	45% (208.29m <sup>2</sup> )	N/A
<b>Off-street Parking</b>	2 Parking Stalls / Unit = 4 stalls	2 stalls / unit = 4 stalls	N/A

10. The Developer and/or the Landowner shall ensure that any changes to the lot grading maintains positive drainage directing the flow of all surface stormwater away from building foundations towards adjacent streets and lanes without adversely affecting (e.g. erosion, flooding) adjacent properties, roads, lanes, public property, or public infrastructure, including where applicable in such a manner that the post-development rate and volume of surface stormwater drainage from the subject property do not exceed the pre-development rate and volume of surface stormwater drainage. Should retaining walls be required as part of the stormwater drainage system, additional development permits are required, and construction shall be completed by the landowner at no cost to the municipality.
11. The Land Use Bylaw 1165, 2023, as amended, contains development standards and regulations that apply to this development permit and for which the landowner is responsible to comply with, at no cost to the Municipality of Crowsnest Pass. These regulations address matters relating to many aspects of the approved development or use e.g., access to the property, lines of sight, public safety setbacks, parking requirements, lot grading, maintaining positive drainage towards abutting roads and/or lanes, outdoor storage, etc. It is the Landowner's and/or Applicant's responsibility to ensure that they are fully aware of and comply with all the applicable development standards and regulations in the Land Use Bylaw that may apply to the proposed development or use. Please contact the Municipality's Department of Development, Engineering & Operations for assistance if required.
12. When construction is involved for a development approved under this development permit, the landowner and/or the applicant to whom this development permit was issued and their successors in title, are responsible to, and shall ensure that the location of the building(s) relative to the subject property boundaries (i.e. approved yard setbacks, including variances if any), as approved in the attached site plan, and relative to easements on the subject property, is staked out by either an Alberta Land Surveyor, a professional engineer (see definition), or another certified agent, prior to the pouring of building foundations. At any time during or after construction, the Development Officer may require that the landowner of the subject property provide the stake-out, a survey and/or a survey drawing (or a Real Property Report) of the subject property and/or the building footprint relative to the subject property boundaries and easements, at no cost to the Municipality.
13. This development permit approves only the development contained herein, and a further application is required for any changes or additions.
14. Failure to comply with any one or more of the conditions listed in this development permit either by a specified deadline or at any time throughout the lifetime of the development permit, as may be applicable, or implementation of the development contrary to the approved site plan and/or approved variances, shall result in enforcement through a Stop Order and corresponding fees, rates, charges, or fines pursuant to the Municipality's Fees, Rates and Charges Bylaw in effect at the time of the non-compliance.

### Important Information & Notes:

- a) The review or approval of a development permit application does not include matters that are regulated by other authorities, for example but not limited to a building permit (Safety Codes Act, s. 66), community health standards, wildlife species at risk, or approvals required from Alberta Environment and Protected Areas or the federal Department of Fisheries and Oceans. Therefore, the Municipality of Crowsnest Pass and/or its Development Authority do not conduct or require independent environmental checks or other investigations or assessments of private land [for example, but not limited to, matters regarding species at risk, migratory birds, birds of prey, bear dens, or other wildlife, or underground mines, or the presence or absence of any environmental contaminants (except, regarding the latter, requiring an environmental study for a setback distance variance pursuant to the Matters Related to Subdivision and Development Regulation AR 84/2022, and except studies and assessments as may be required pursuant to the Land Use Bylaw, e.g. a slope stability assessment)]. If the landowner, the development permit applicant, or an adjacent landowner or other affected party is concerned about any such matters, they should conduct their own tests and reviews. When issuing a development permit, the Municipality of Crowsnest Pass and/or its Development Authority approve a proposed development only for land use planning purposes, and do not make representations and do not offer warranties as to the suitability or otherwise of the subject property for any purpose.
- b) By accepting the development permit issued herein, or issued subsequent to an appeal decision, and by acting to implement the development approved within this development permit, the landowner and applicant indemnifies and holds harmless the Municipality of Crowsnest Pass, its Development Authority, and its employees and agents from any and all claims, demands, actions, and costs whatsoever that may arise, directly or indirectly, from anything done or omitted to be done in the construction, maintenance, alteration or operation of the works authorized in the development permit.
- c) It is the responsibility of the landowner, including successors in title, to comply with the conditions imposed on this development permit.
- d) The issuance of a Development Permit indicates only that the development to which the Development Permit relates is authorized in accordance with the provisions of the Municipality of Crowsnest Pass Land Use Bylaw and does not in any way relieve or excuse the Landowner and/or the Development Permit holder from obtaining any other permit (including authorization to modify a wetland, safety codes permits e.g. building, electrical, gas, plumbing, Historical Resources Act approval, Highways Development and Protection Act, etc.), license, or other authorization required by any Federal or Provincial Act or regulation, or under any Bylaw of the Municipality (e.g. a business license), or complying with the conditions of any easement, covenant, agreement, or other instrument affecting the building or land. The Landowner and/or the Applicant is responsible to ensure compliance with these matters, at the sole risk and responsibility of the Applicant/property owner to the exoneration of the Municipality of Crowsnest Pass from any liability related to these matters, and at no cost to the Municipality of Crowsnest Pass. The applicable requirements may include the following:
  - (i) An application under the Historical Resources Act via the Online Permitting and Clearance (OPaC) process (<https://www.alberta.ca/online-permitting-clearance>) to the Historic Resources Management Branch of Alberta Arts, Culture, and Status of Women, and compliance with any requirements, terms, and conditions of such clearance.
- e) The Applicant/property owner is responsible for the following aspects as may be applicable to this development permit, at the sole risk and responsibility of the Applicant/property owner to the exoneration of the Municipality of Crowsnest Pass from any liability related to these matters, and at no cost to the Municipality of Crowsnest Pass:
  - (i) Determining the legal property boundaries and any applicable easements through a survey by an Alberta Land Surveyor before foundations are excavated or poured and before construction proceeds above ground level.
  - (ii) Ensuring that any structures approved under this Development Permit are constructed such that they are correctly set back from the property boundaries in compliance with the front, rear, and side yard setbacks approved in this Development Permit. The landowner should consult an Alberta Land Surveyor for this purpose.
  - (iii) Ensuring that the development and the associated excavation and/or construction activity approved under this Development Permit shall not disturb, affect, or alter conditions of all utilities and appurtenances, drainage rights-of-way, utility rights-of-way, access rights-of-way, and any easements as they may exist, over, under, or through the Lands. The landowner should consult a professional engineer and/or an Alberta Land Surveyor and/or the relevant utility company / utility owner for this purpose.
  - (iv) Ensuring that the development and/or any associated structures and/or the associated excavation and/or construction activity approved under this Development Permit is undertaken in a manner that does not cause or result in a public safety risk or concern, or a nuisance, disturbance, or damage to adjacent properties and/or roads, lanes, or other municipal infrastructure. The landowner should consult a legal professional, a professional engineer and/or an Alberta Land Surveyor for this purpose.
  - (v) Ensuring that all equipment, waste bins, portable toilets, building materials, and excavation stockpiles associated with construction activity approved under this development permit are placed within the subject property boundaries, and that where such items must encroach onto adjacent private property and/or adjacent boulevards, sidewalks, streets and

/or lanes, that the adjacent landowner's consent has been obtained and/or that the Municipality has authorized such encroachment through a hoarding permit under the Traffic Bylaw (please contact the Manager of Transportation or a Community Peace Officer).

- (vi) Making suitable arrangements with utility companies for the provision of all services and/or necessary easements for utility rights-of-way.
  - (vii) Notifying Utility Safety Partners (Alberta 1st Call) at <https://utilityafety.ca/wheres-the-line/submit-a-locate-request/> or 1-800-242-3447 to arrange for field location of buried utilities prior to excavation for the proposed development.
  - (viii) Ensuring that permanent structures are located outside the 1:100-year flood plain of any water body. The landowner should consult a wetland assessment practitioner and/or an Alberta Land Surveyor for this purpose.
  - (ix) Ensuring that construction activity approved under this Development Permit does not result in the modification of a wetland without provincial approval. The landowner should consult a wetland assessment practitioner for this purpose.
  - (x) Ensuring that foundation and drainage systems on a property with an effective grade / slope of greater than 15% are designed in accordance with the recommendations in a slope stability assessment and/or a grading plan / stormwater management plan, as may be applicable, prepared by a professional engineer, and that the same are constructed under the supervision of a professional engineer, to protect the bank from erosion and to ensure slope stability.
  - (xi) Ensuring that a 2-meter separation is provided between the water table and footings for the buildings. The landowner should consult a professional engineer for this purpose.
  - (xii) Ensuring that sub-surface conditions are suitable for the proposed construction and, where necessary, that foundations have been designed by a professional engineer.
  - (xiii) Ensuring that the property is graded in such a manner that positive drainage directing the flow of all surface stormwater away from building foundations towards adjacent streets and lanes is maintained without adversely affecting (e.g. erosion, flooding) adjacent properties, roads, lanes, public property, or public infrastructure, including where applicable in such a manner that the post-development rate and volume of surface stormwater drainage from the subject property do not exceed the pre-development rate and volume of surface stormwater drainage. Should retaining walls be required as part of the stormwater drainage system, additional development permits are required, and construction shall be completed by the landowner at no cost to the municipality. Where an approved grading plan or stormwater management plan exists, the property must be graded (finished grade) in accordance with the grading plan or stormwater management plan. The landowner should consult a professional engineer and an Alberta Land Surveyor for this purpose.
  - (xiv) Being aware of FireSmart Regulations including the Municipality's FireSmart Bylaw and Safety Codes Permit Bylaw as may be applicable.
  - (xv) This document does not provide permission to commence a use, start construction or occupy a building (as may be applicable) until all prior to issuance conditions have been satisfied to the Development Authority's satisfaction, and any applicable appeal period has expired. It is the owner's responsibility to ensure that all development permit conditions have been satisfied, and other applicable permits are applied for and issued before commencing a use, start construction, or occupy a building, and that construction is inspected and permits closed, before occupancy. It is the responsibility of the owner or owner's agent to make an application to the Municipality for an Occupancy and Completion Certificate prior to taking occupancy.
- f) As part of the development permit review the Development Officer considered the following items checked in the table below, and relevant conditions were imposed on the development permit as deemed applicable:

Lot (m <sup>2</sup> )	465.88	Provincial Historic Resource Value (Archaeology)	4a
Abandoned Gas Wells	N/A	Abandoned Coal Mines	N/A
Transportation & Economic Corridor (direct access or structure within 40 m of Hwy 3 / 40)	N/A	Provincial Historic Designation	N/A
Hydrography through parcel	N/A	Historic Commercial Areas Overlay District	N/A
High Pressure Gas Main Preferred Referral (Yes – Send Notice)	N/A	Municipal Historic Resource Designation / MCNP Heritage Inventory	N/A
Contours – Steep Grade	Yes	Historic Resource Designation by Bylaw	N/A

Area Structure Plan	N/A	Coleman National Historic Site	N/A
Cadastral – URW on parcel	N/A	Areas of Potential Environmental Concern Overlay District / Lagoon	N/A
Flood Hazard	N/A	Wetlands	N/A
Forestry Reserve	N/A	Miistakis	N/A

### Right to Appeal

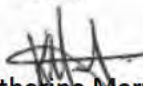
This decision may be appealed within 21 days after the notice of decision. You may file an appeal with the required appeal fee by the appeal deadline. The SUBDIVISION AND DEVELOPMENT APPEAL BOARD (SDAB) has jurisdiction to hear an appeal of the Development Authority’s Decision on this development permit.

Subdivision and Development Appeal Board:

Submit the online form: [https://portal.laserfiche.ca/o8468/forms/Development\\_Appeal](https://portal.laserfiche.ca/o8468/forms/Development_Appeal) or visit <https://www.crownsnestpass.com/planning-development/p-d/subdivision-and-development-appeals> to learn more and access the link to appeal. The fee of \$400.00 must be paid with the appeal (will be contacted for payment once the form is sent).

If you have any questions regarding the development permit, please contact the undersigned at [development@crownsnestpass.com](mailto:development@crownsnestpass.com) or make an appointment by calling (403) 562-8833.

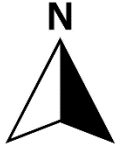
Sincerely,



Katherine Mertz  
Development Officer

Lot 14 Block 19 Plan 232AI

6514 22 Avenue, Coleman

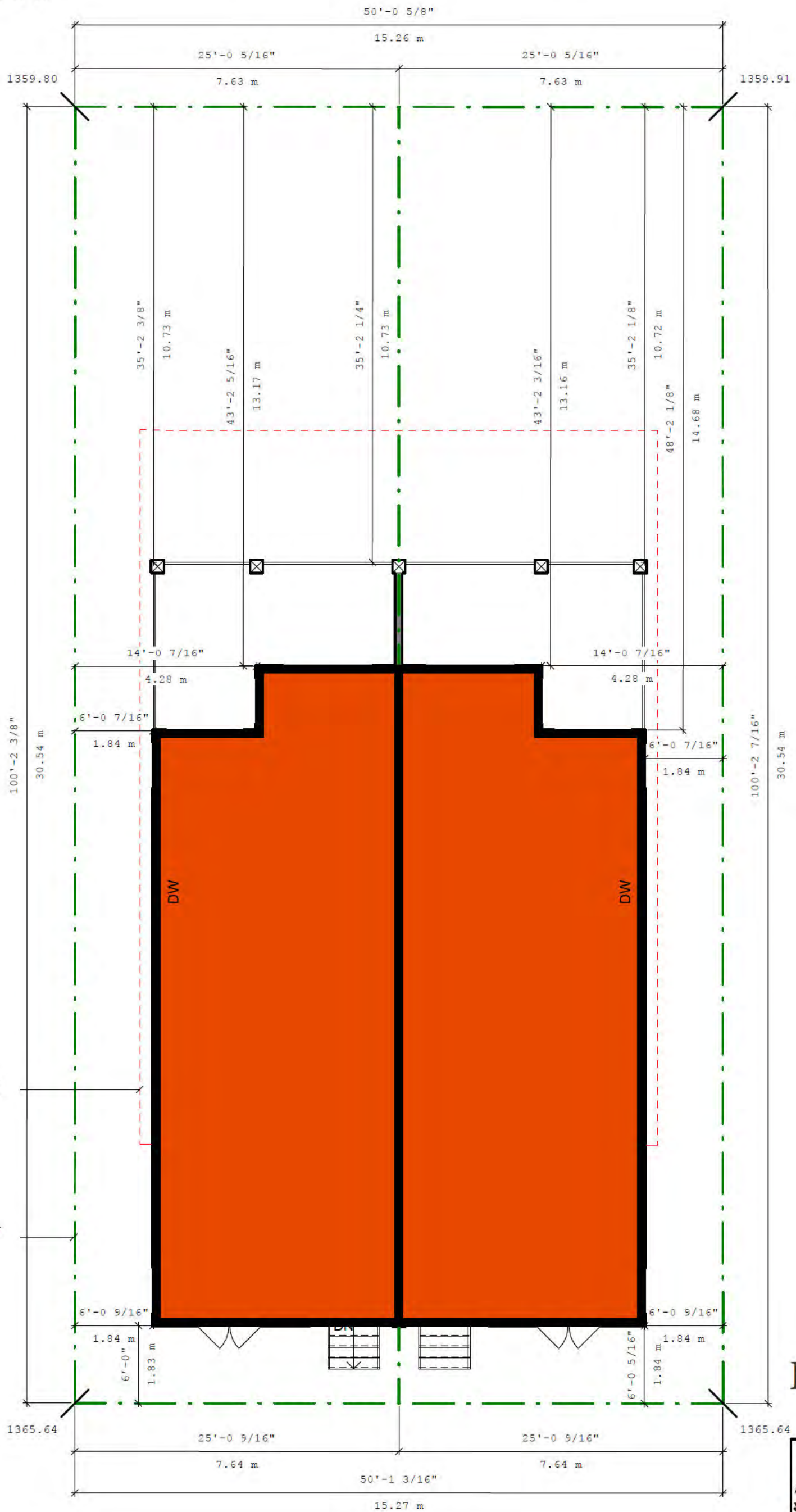


D7



LOT 14 BLOCK 19 PLAN 232 A.I.  
 LOT COVERAGE  
 LOT AREA: 466.15 SQ.M. APPROX.  
 BUILDING COVERAGE: 208.28 SQ.M.  
 APPROX.  
 (%) COVERAGE: 44.68%  
 LOWEST BOF: XXXm  
 SANITARY LINE: XXXm

NOTES:  
 1) ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED AS STATED IN THE LATEST EDITION OF XXXX STANDARD CONSTRUCTION SPECIFICATIONS  
 2) ALL GRASSED LANDSCAPING REQUIRED WITHIN THE PUBLIC RIGHT-OF-WAY IS TO BE COMPLETED WITH SOD



LANE

22ND AVE

D9



CUSTOMER:	STARBRIGHT	PHASE:	BLACKLINES	MAIN FLR Sq.Ft.:	887	FUTURE FIN. BSMT:	749	FRONT PORCH:	42	ADDRESS:	6514 22 AVE
TYPE:	DUPLEX	DRAWN BY:	GRO	2ND FLR Sq.Ft.:	887	UNFINISHED BSMT:	138	DECK:	192		
DATE:	2026 02 20	RENDITION:	#4	TOTAL Sq.Ft.:	1774	GARAGE Sq.Ft.:	XXX	JOB #:	XX-XXX	PAGE:	2/10

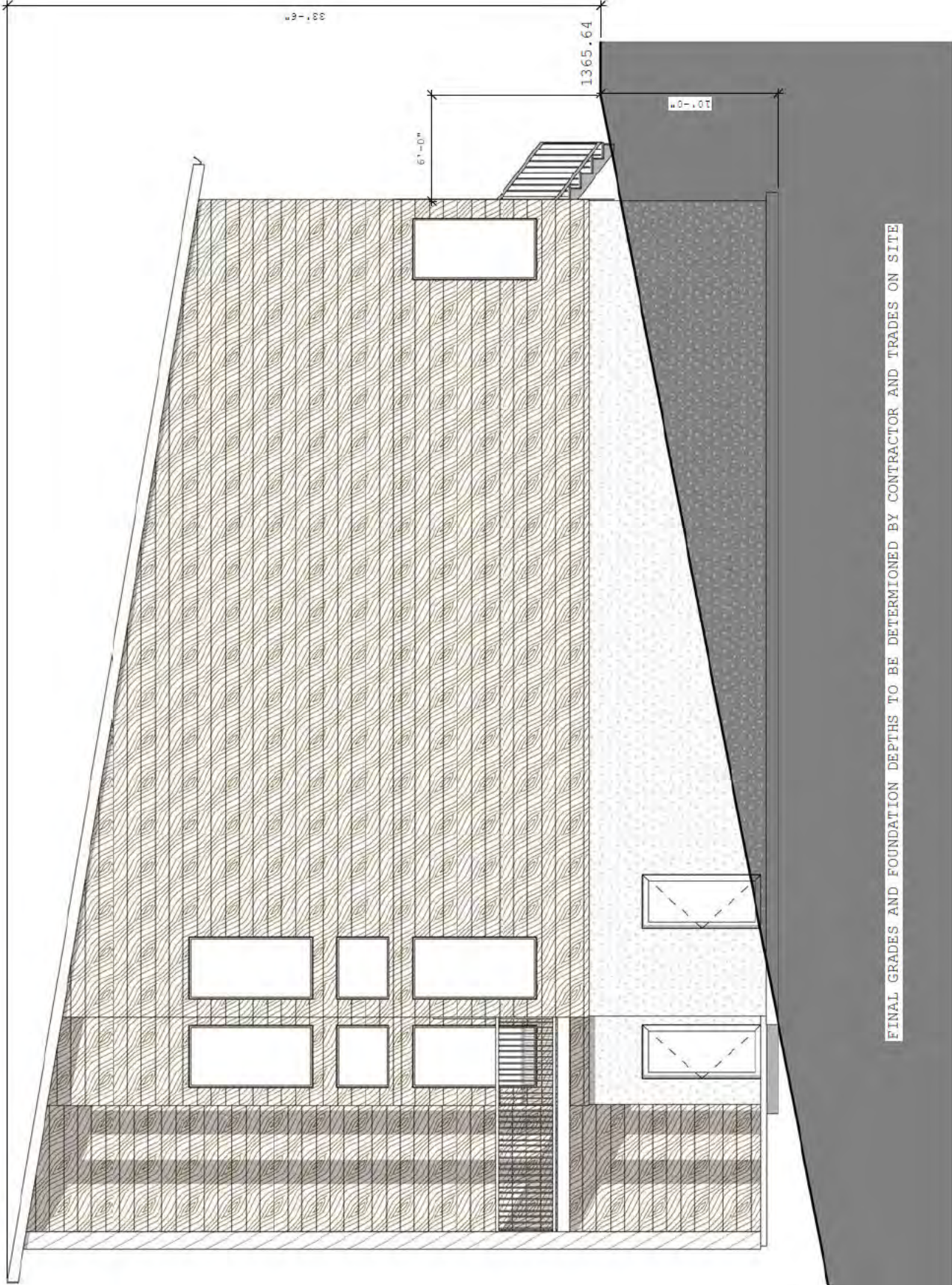
D10



ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO LOCAL AUTHORITY HAVING JURISDICTION ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET BUILDING CODE

CUSTOMER:	STARBRIGHT	PHASE:	BLACKLINES	MAIN FLR Sq.Ft.:	887	FUTURE FIN. BSMT:	749	FRONT PORCH:	42	ADDRESS:	
TYPE:	DUPLEX	DRAWN BY:	GRO	2ND FLR Sq.Ft.:	887	UNFINISHED BSMT:	138	DECK:	192	6514 22 AVE	
DATE:	2026 02 20	RENDITION:	#4	TOTAL Sq.Ft.:	1774	GARAGE Sq.Ft.:	XXX	JOB #:	XX-XXX	PAGE:	7/10





359.80  
D11

ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO LOCAL AUTHORITY HAVING JURISDICTION ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET BUILDING CODE

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DATE:	2026 02 20	RENDITION:	#4	TOTAL Sq.Ft.:	1774	GARAGE Sq.Ft.:	XXX	JOB #:	XX-XXX	PAGE:
										8/10







**Box 600**  
**Crowsnest Pass, Alberta,**  
**T0K 0E0**  
**Phone: 403-562-8833**  
**Fax: 403-563-5474**

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## Notice of Decision

Application No.	DP2026-028
Roll No.	1148600
Application Complete:	March 26, 2026
Notice of Decision:	April 23, 2026
Appeal Period Expires:	May 14, 2026

## This is not a Development Permit

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Approving Authority:	Municipal Planning Commission
Land Use District:	Residential R-1
Civic Address:	6510 22 Avenue, Coleman
Legal Land Description:	Lot 13 Block 19 Plan 232AI
Proposed Development:	“For a “Duplex / Semi- Detached Dwelling” (discretionary use) with a 2% variance to the maximum height and a 70% variance to the front yard setback

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Dear Sir or Madam:

Please be advised that the **Development Permit application DP2026-028 was approved** subject to the following conditions:

1. The Development Permit approved in this Notice of Decision shall not be issued and shall be of no effect, and construction / placement of the development shall not commence, until all “Prior to Issuance Conditions” stated in this Notice of Decision have been met or fulfilled.
2. This Notice of Decision shall remain effective for a period of six (6) months and shall then expire and be deemed null and void unless the applicant or landowner (proponent of the proposed development) to whom the Notice of Decision was issued continues to collaborate with the Development Authority to satisfy or complete the “Prior to Issuance Conditions” and, if required, an extension is approved by the Development Authority.

**Prior to Issuance Conditions** (these conditions are to be satisfied prior to issuance of a development permit and will only form part of the Notice of Decision and not part of the formal development permit issued however, the development permit shall be of no effect until these conditions have been satisfied)

3. An appeal period of twenty-one (21) days from the date of the Development Authority’s Notice of Decision applies, and if any appeals are submitted the development permit shall not be issued until

such appeals are dealt with by the Subdivision and Development Appeal Board or the Land and Property Rights Tribunal, as may be applicable.

4. The applicant / landowner shall provide a slope stability assessment with recommendations for foundation design and site grading, stamped and permitted by a professional engineer demonstrating the viability and safety of the proposed development pursuant to Schedule 4, section 17.2.

**Time Specific Conditions After Issuance** (deadline for enforcement or for the validity of the development permit)

5. Pursuant to Schedule 4, section 21.5 in the Land Use Bylaw, the property shall be serviced with a single water and wastewater service connection, except as required in par. 5a):
  - a) If a subdivision has been approved and registered at the Land Titles Office, whereby the subject property is subdivided into two certificates of title for each of the half duplex units, then the landowner / applicant shall enter into a service connection agreement with the Municipality to bring a water and wastewater service connection to the property line of each titled parcel, stubbed from the existing water and wastewater mains in 22Ave, at no cost to the Municipality.
6. The applicant or landowner shall commence the approved development and carry it out with reasonable diligence, in the opinion of the Development Officer, within 12 months from the date of issuance of the development permit and / or within the specific timelines and by the specific deadlines stated in this development permit, otherwise the permit shall be deemed to be null and void (for this purpose, "commence" may include applying for a building permit under the Safety Codes Act).
7. When a development permit involves construction, the applicant or landowner shall complete exterior work to the Development Officer's satisfaction within 36 months after the date of the issuance of the development permit (regardless of the date of issuance of a building permit under the safety Codes Act or the date of the start of construction) and / or within the specific timelines and by the specific deadlines stated in this development permit, otherwise the applicant or landowner shall be deemed to be in contravention of the development permit conditions.
8. The landowner or applicant shall confirm permitting requirements for the proposed building / structure with the discipline specific Safety Codes Officer, and shall provide to the Development Officer copies of Safety Codes permit applications (Building, Electrical, Gas, Plumbing, Private Sewage Disposal System) when the same are made or copies of Safety Codes permits issued immediately upon issuance to demonstrate that such applications or permits are consistent with the development permit issued for the proposed development.

**Conditions of a Continuing Nature (Permanent Conditions)**

9. The applicant or landowner shall ensure that the development complies with and is carried out and completed in its entirety in conformance with the attached approved site plan and the development standards in the Land Use Bylaw 1165, 2023 (except as approved by variance in the table below). Failure to conform to the approved site plan without an approved amendment may result in enforcement measures pursuant to the Municipal Government Act and the Land Use Bylaw:

Duplex / Semi-Detached Dwelling	Standard	Proposed	Variance
Front Yard Setback	6.1m	1.83m	70% (4.27m)
Rear Yard Setback	7.6m	10.73m	N/A

<b>Side Yard Setback (East)</b>	1.5m	1.83m	N/A
<b>Side Yard Setback (West)</b>	1.5m	1.83m	N/A
<b>Maximum Height – two storey walkout basement</b>	13m	13.3m	2% 0.3m
<b>Maximum Lot Coverage</b> on one certificate of title <b>(lot area 466.08m<sup>2</sup>)</b>	45% (209.74m <sup>2</sup> )	45% (208.29m <sup>2</sup> )	N/A
<b>Off-street Parking</b>	2 Parking Stalls / Unit = 4	2 stalls / unit = 4	N/A

10. The Developer and/or the Landowner shall ensure that any changes to the lot grading maintains positive drainage directing the flow of all surface stormwater away from building foundations towards adjacent streets and lanes without adversely affecting (e.g. erosion, flooding) adjacent properties, roads, lanes, public property, or public infrastructure, including where applicable in such a manner that the post-development rate and volume of surface stormwater drainage from the subject property do not exceed the pre-development rate and volume of surface stormwater drainage. Should retaining walls be required as part of the stormwater drainage system, additional development permits are required, and construction shall be completed by the landowner at no cost to the municipality.
11. The Land Use Bylaw 1165, 2023, as amended, contains development standards and regulations that apply to this development permit and for which the landowner is responsible to comply with, at no cost to the Municipality of Crowsnest Pass. These regulations address matters relating to many aspects of the approved development or use e.g., access to the property, lines of sight, public safety setbacks, parking requirements, lot grading, maintaining positive drainage towards abutting roads and/or lanes, outdoor storage, etc. It is the Landowner's and/or Applicant's responsibility to ensure that they are fully aware of and comply with all the applicable development standards and regulations in the Land Use Bylaw that may apply to the proposed development or use. Please contact the Municipality's Department of Development, Engineering & Operations for assistance if required.
12. When construction is involved for a development approved under this development permit, the landowner and/or the applicant to whom this development permit was issued and their successors in title, are responsible to, and shall ensure that the location of the building(s) relative to the subject property boundaries (i.e. approved yard setbacks, including variances if any), as approved in the attached site plan, and relative to easements on the subject property, is staked out by either an Alberta Land Surveyor, a professional engineer (see definition), or another certified agent, prior to the pouring of building foundations. At any time during or after construction, the Development Officer may require that the landowner of the subject property provide the stake-out, a survey and/or a survey drawing (or a Real Property Report) of the subject property and/or the building footprint relative to the subject property boundaries and easements, at no cost to the Municipality.
13. This development permit approves only the development contained herein, and a further application is required for any changes or additions.
14. Failure to comply with any one or more of the conditions listed in this development permit either by a specified deadline or at any time throughout the lifetime of the development permit, as may be applicable, or implementation of the development contrary to the approved site plan and/or approved variances, shall result in enforcement through a Stop Order and corresponding fees, rates,

charges, or fines pursuant to the Municipality's Fees, Rates and Charges Bylaw in effect at the time of the non-compliance.

**Important Information & Notes:**

- a) The review or approval of a development permit application does not include matters that are regulated by other authorities, for example but not limited to a building permit (Safety Codes Act, s. 66), community health standards, wildlife species at risk, or approvals required from Alberta Environment and Protected Areas or the federal Department of Fisheries and Oceans. Therefore, the Municipality of Crowsnest Pass and/or its Development Authority do not conduct or require independent environmental checks or other investigations or assessments of private land [for example, but not limited to, matters regarding species at risk, migratory birds, birds of prey, bear dens, or other wildlife, or underground mines, or the presence or absence of any environmental contaminants (except, regarding the latter, requiring an environmental study for a setback distance variance pursuant to the Matters Related to Subdivision and Development Regulation AR 84/2022, and except studies and assessments as may be required pursuant to the Land Use Bylaw, e.g. a slope stability assessment)]. If the landowner, the development permit applicant, or an adjacent landowner or other affected party is concerned about any such matters, they should conduct their own tests and reviews. When issuing a development permit, the Municipality of Crowsnest Pass and/or its Development Authority approve a proposed development only for land use planning purposes, and do not make representations and do not offer warranties as to the suitability or otherwise of the subject property for any purpose.
- b) By accepting the development permit issued herein, or issued subsequent to an appeal decision, and by acting to implement the development approved within this development permit, the landowner and applicant indemnifies and holds harmless the Municipality of Crowsnest Pass, its Development Authority, and its employees and agents from any and all claims, demands, actions, and costs whatsoever that may arise, directly or indirectly, from anything done or omitted to be done in the construction, maintenance, alteration or operation of the works authorized in the development permit.
- c) It is the responsibility of the landowner, including successors in title, to comply with the conditions imposed on this development permit.
- d) The issuance of a Development Permit indicates only that the development to which the Development Permit relates is authorized in accordance with the provisions of the Municipality of Crowsnest Pass Land Use Bylaw and does not in any way relieve or excuse the Landowner and/or the Development Permit holder from obtaining any other permit (including authorization to modify a wetland, safety codes permits e.g. building, electrical, gas, plumbing, Historical Resources Act approval, Highways Development and Protection Act, etc.), license, or other authorization required by any Federal or Provincial Act or regulation, or under any Bylaw of the Municipality (e.g. a business license), or complying with the conditions of any easement, covenant, agreement, or other instrument affecting the building or land. The Landowner and/or the Applicant is responsible to ensure compliance with these matters, at the sole risk and responsibility of the Applicant/property owner to the exoneration of the Municipality of Crowsnest Pass from any liability related to these matters, and at no cost to the Municipality of Crowsnest Pass. The applicable requirements may include the following:
  - (i) An application under the Historical Resources Act via the Online Permitting and Clearance (OPaC) process (<https://www.alberta.ca/online-permitting-clearance>) to the Historic Resources Management Branch of Alberta Arts, Culture, and Status of Women, and compliance with any requirements, terms, and conditions of such clearance.
- e) The Applicant/property owner is responsible for the following aspects as may be applicable to this development permit, at the sole risk and responsibility of the Applicant/property owner to the exoneration of the Municipality of Crowsnest Pass from any liability related to these matters, and at no cost to the Municipality of Crowsnest Pass:
  - (i) Determining the legal property boundaries and any applicable easements through a survey by an Alberta Land Surveyor before foundations are excavated or poured and before construction proceeds above ground level.
  - (ii) Ensuring that any structures approved under this Development Permit are constructed such that they are correctly set back from the property boundaries in compliance with the front, rear, and side yard setbacks approved in this Development Permit. The landowner should consult an Alberta Land Surveyor for this purpose.
  - (iii) Ensuring that the development and the associated excavation and/or construction activity approved under this Development Permit shall not disturb, affect, or alter conditions of all utilities and appurtenances, drainage rights-of-way, utility rights-of-way, access rights-of-way, and any easements as they may exist, over, under, or through the Lands. The landowner should consult a professional engineer and/or an Alberta Land Surveyor and/or the relevant utility company / utility owner for this purpose.
  - (iv) Ensuring that the development and/or any associated structures and/or the associated excavation and/or construction activity approved under this Development Permit is undertaken in a manner that does not cause or result in a public safety risk or concern, or a nuisance, disturbance, or damage to adjacent properties and/or roads, lanes, or other municipal infrastructure. The landowner should consult a legal professional, a professional engineer and/or an Alberta Land Surveyor for this purpose.

- (v) Ensuring that all equipment, waste bins, portable toilets, building materials, and excavation stockpiles associated with construction activity approved under this development permit are placed within the subject property boundaries, and that where such items must encroach onto adjacent private property and/or adjacent boulevards, sidewalks, streets and /or lanes, that the adjacent landowner's consent has been obtained and/or that the Municipality has authorized such encroachment through a hoarding permit under the Traffic Bylaw (please contact the Manager of Transportation or a Community Peace Officer).
- (vi) Making suitable arrangements with utility companies for the provision of all services and/or necessary easements for utility rights-of-way.
- (vii) Notifying Utility Safety Partners (Alberta 1st Call) at <https://utilitysafety.ca/wheres-the-line/submit-a-locate-request/> or 1-800-242-3447 to arrange for field location of buried utilities prior to excavation for the proposed development.
- (viii) Ensuring that permanent structures are located outside the 1:100-year flood plain of any water body. The landowner should consult a wetland assessment practitioner and/or an Alberta Land Surveyor for this purpose.
- (ix) Ensuring that construction activity approved under this Development Permit does not result in the modification of a wetland without provincial approval. The landowner should consult a wetland assessment practitioner for this purpose.
- (x) Ensuring that foundation and drainage systems on a property with an effective grade / slope of greater than 15% are designed in accordance with the recommendations in a slope stability assessment and/or a grading plan / stormwater management plan, as may be applicable, prepared by a professional engineer, and that the same are constructed under the supervision of a professional engineer, to protect the bank from erosion and to ensure slope stability.
- (xi) Ensuring that a 2-meter separation is provided between the water table and footings for the buildings. The landowner should consult a professional engineer for this purpose.
- (xii) Ensuring that sub-surface conditions are suitable for the proposed construction and, where necessary, that foundations have been designed by a professional engineer.
- (xiii) Ensuring that the property is graded in such a manner that positive drainage directing the flow of all surface stormwater away from building foundations towards adjacent streets and lanes is maintained without adversely affecting (e.g. erosion, flooding) adjacent properties, roads, lanes, public property, or public infrastructure, including where applicable in such a manner that the post-development rate and volume of surface stormwater drainage from the subject property do not exceed the pre-development rate and volume of surface stormwater drainage. Should retaining walls be required as part of the stormwater drainage system, additional development permits are required, and construction shall be completed by the landowner at no cost to the municipality. Where an approved grading plan or stormwater management plan exists, the property must be graded (finished grade) in accordance with the grading plan or stormwater management plan. The landowner should consult a professional engineer and an Alberta Land Surveyor for this purpose.
- (xiv) Being aware of FireSmart Regulations including the Municipality's FireSmart Bylaw and Safety Codes Permit Bylaw as may be applicable.
- (xv) This document does not provide permission to commence a use, start construction or occupy a building (as may be applicable) until all prior to issuance conditions have been satisfied to the Development Authority's satisfaction, and any applicable appeal period has expired. It is the owner's responsibility to ensure that all development permit conditions have been satisfied, and other applicable permits are applied for and issued before commencing a use, start construction, or occupy a building, and that construction is inspected and permits closed, before occupancy. It is the responsibility of the owner or owner's agent to make an application to the Municipality for an Occupancy and Completion Certificate prior to taking occupancy.

f) As part of the development permit review the Development Officer considered the following items checked in the table below, and relevant conditions were imposed on the development permit as deemed applicable:

Lot (m <sup>2</sup> )	465.88	Provincial Historic Resource Value (Archaeology)	4a
Abandoned Gas Wells	N/A	Abandoned Coal Mines	N/A
Transportation & Economic Corridor (direct access or structure within 40 m of Hwy 3 / 40)	N/A	Provincial Historic Designation	N/A
Hydrography through parcel	N/A	Historic Commercial Areas Overlay District	N/A
High Pressure Gas Main Preferred Referral	N/A	Municipal Historic Resource Designation	N/A

(Yes – Send Notice)		/ MCNP Heritage Inventory	
Contours – Steep Grade	Yes	Historic Resource Designation by Bylaw	N/A
Area Structure Plan	N/A	Coleman National Historic Site	N/A
Cadastral – URW on parcel	N/A	Areas of Potential Environmental Concern Overlay District / Lagoon	N/A
Flood Hazard	N/A	Wetlands	N/A
Forestry Reserve	N/A	Miistakis	N/A

**Right to Appeal**

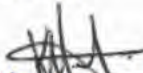
This decision may be appealed within 21 days after the notice of decision. You may file an appeal with the required appeal fee by the appeal deadline. The SUBDIVISION AND DEVELOPMENT APPEAL BOARD (SDAB) has jurisdiction to hear an appeal of the Development Authority’s Decision on this development permit.

Subdivision and Development Appeal Board:

Submit the online form: [https://portal.laserfiche.ca/o8468/forms/Development\\_Appeal](https://portal.laserfiche.ca/o8468/forms/Development_Appeal) or visit <https://www.crowsnestpass.com/planning-development/p-d/subdivision-and-development-appeals> to learn more and access the link to appeal. The fee of \$400.00 must be paid with the appeal (will be contacted for payment once the form is sent).

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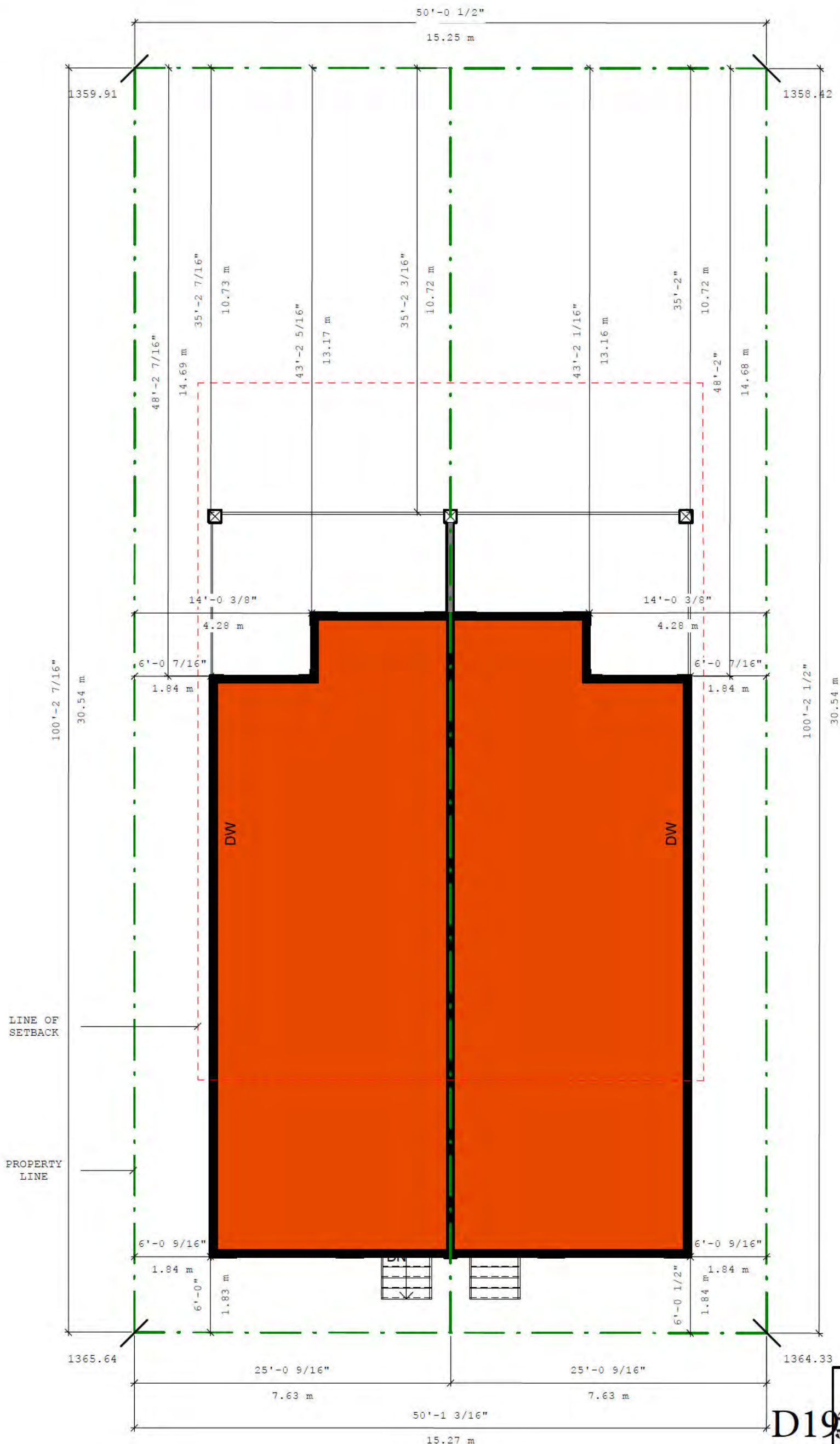
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Katherine Mertz  
Development Officer

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 BUILDING COVERAGE: 208.28 SQ.M.  
 APPROX.  
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 SANITARY LINE: XXXm

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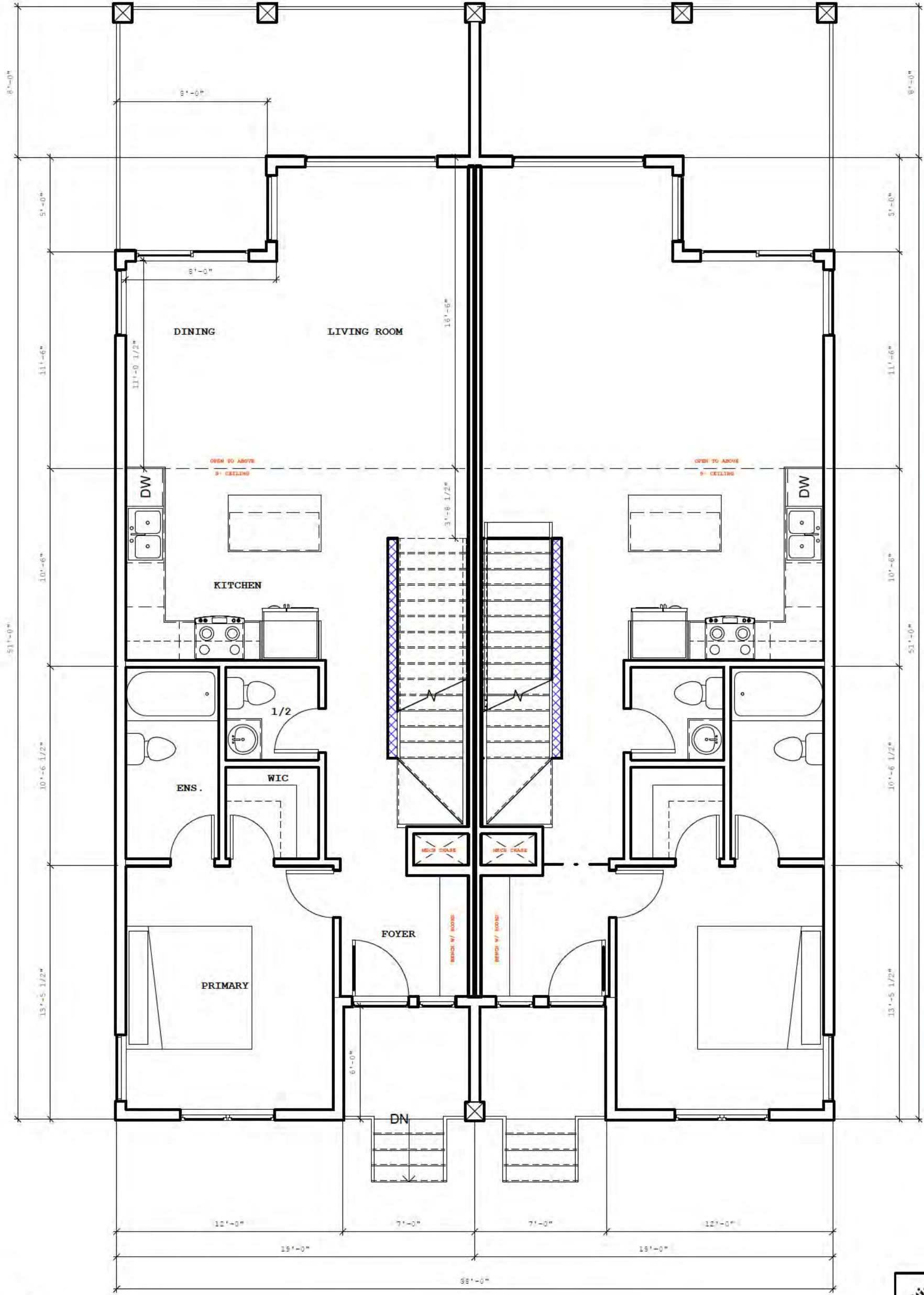
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D19

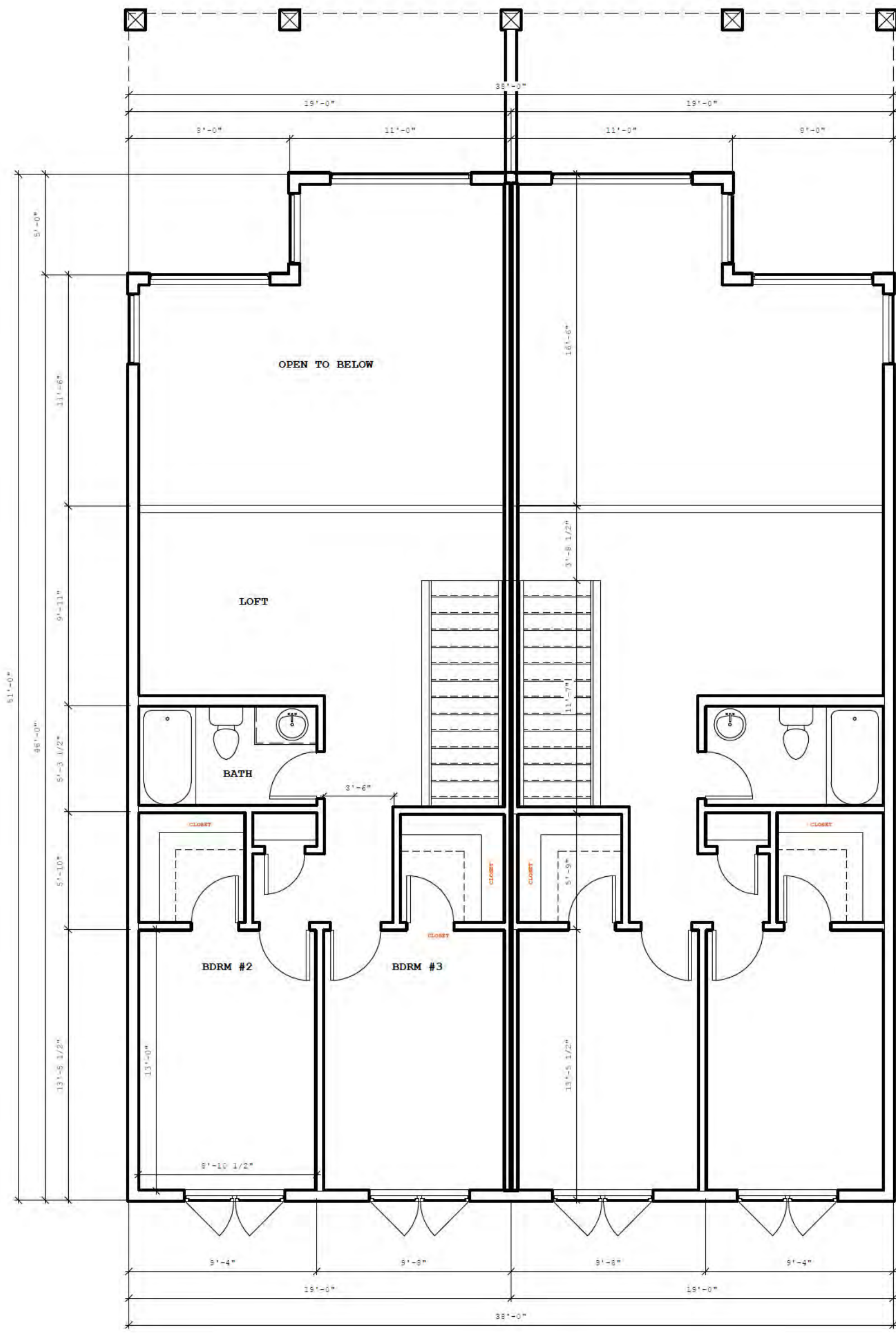
22ND AVE

D20



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D21



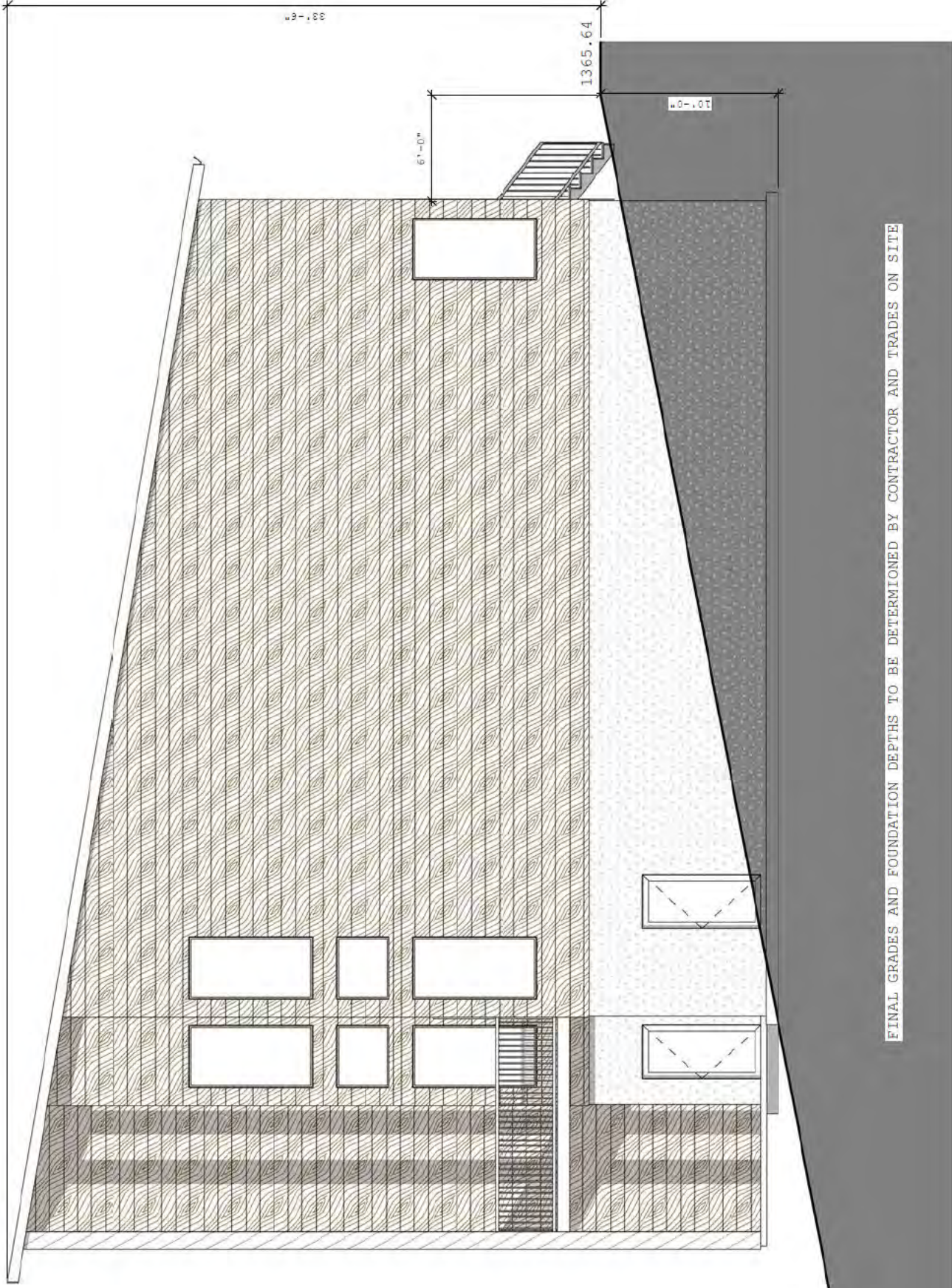
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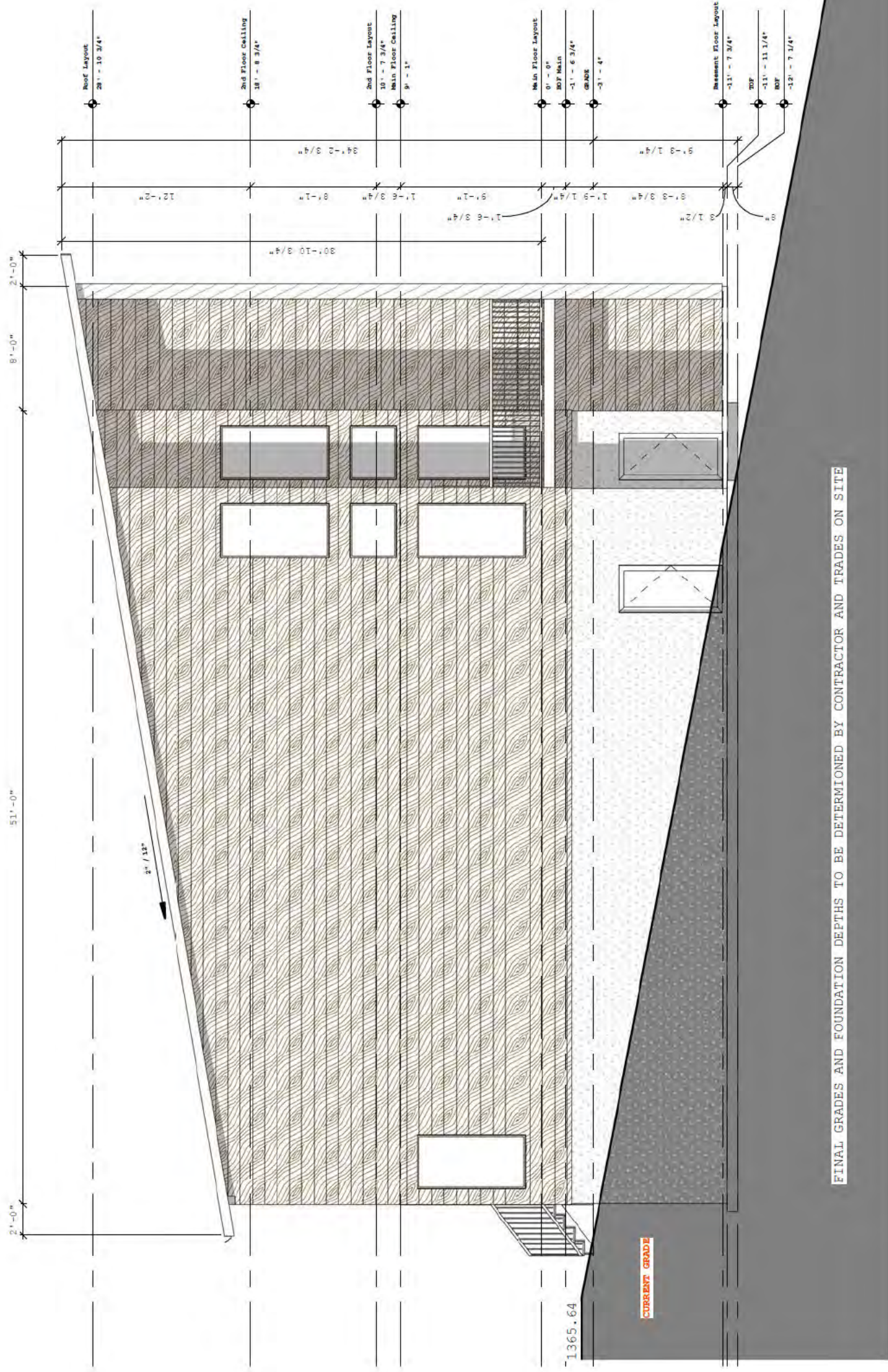
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D23

ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO LOCAL AUTHORITY HAVING JURISDICTION ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET BUILDING CODE

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ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO LOCAL AUTHORITY HAVING JURISDICTION ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET BUILDING CODE

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										9/10



RECEIVED



Box 600  
Crowsnest Pass, Alberta  
TOK OEO  
Phone: 403-562-8833  
Fax: 403-563-5474  
Email: development@crowsnestpass.com

*Office U	DP2026-025
Application No.	
Land Use District	R-1
Roll No.	
Date Received	Feb 24/26

**Development Permit Application Form - Residential**

(Single Detached-Dwelling, Multi-Unit Dwellings, Moved-In Buildings, Additions, Sheds, Decks, Garages, Porches, Secondary Suites)

PLEASE NOTE: This application is ONLY for a development permit. If a building permit is also required, you must apply for it separately prior to construction. Providing an email means you consent to receiving documents or communications related to this application, including but not limited to development permit decisions, acknowledgments confirming an application is complete, and any notices identifying any outstanding documents and information by email. Please be sure to complete the entire application. **Failure to send in a complete application can result in a delay of your permit.**

Applicant Information		Property Information	
Name	Derek Havens	Municipal Street Address	6514-22 ave Coleman
Phone	[REDACTED]	Lot(s)	14
Email	[REDACTED].ca	Block	19
Mailing Address/Box#	Box [REDACTED]	Plan	232A1
City and Postal Code	TOK-OEO		

**Land Title Certificate and Registrations (Choose One)**

<input type="checkbox"/> Current Certificate of Title and Registrations on Title (Within 3 Months - Attached) Obtain online from Land Titles (Spin2 website) or a Registries Office	<input checked="" type="checkbox"/> I am requesting the Municipality to obtain the required certificate of title and registered documents and apply all costs to the application fee (\$25.00)
--	--

**PLEASE CONFIRM ONE OF THE FOLLOWING:**

- I am the registered owner of the above noted property
- I have entered into a binding agreement to purchase the above noted property with the registered owner(s) (please attach a copy of the agreement)
- I have permission of the registered owner(s) of the above noted property to make the attached application for a Development Permit (please complete or attach a separate authorization letter from the owner with their contact information)

**Type of Development (Check all that apply)**

ITEMS REQUIRED TO SUBMIT WITH APPLICATION	Site Plan	Parking Plan (on Site Plan)	Elevation Plans	Floor Plans (Include Basement)	Landscape Plan	Photos (All Sides)
<input type="checkbox"/> Single Detached-Dwelling	✓	✓	✓	✓	•	•
<input checked="" type="checkbox"/> Multi-Unit Dwelling	✓	✓	✓	✓	✓	•
<input type="checkbox"/> Addition	✓	•	✓	•	•	•
<input type="checkbox"/> Garage, Shed, Deck, Porch	✓	•	✓	•	•	For Sea Can
<input type="checkbox"/> Secondary Suite	✓	✓	•	✓	•	•
<input type="checkbox"/> Moved-In Building	✓	For Dwelling	✓	For Dwelling	•	✓
<input type="checkbox"/> Existing Development	✓	✓	✓	If Applicable	•	✓

<b>Proposed Use / Description of Proposed or Existing Development and Reason for Variance Request (If applicable):</b>	<b>Anticipated Start Date:</b>
Duplex R-1 Zoning Discretionary	March 1, 2026

The personal information provided as part of this application is collected under Sections 303 and 295 of the Municipal Government Act and in accordance with Section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing development permits, Land Use Bylaw enforcement and property assessment purposes. The name of the permit holder and the nature of the permit are available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact the Municipality.

E1

DEVELOPMENT SPECIFICATIONS – ALL DEVELOPMENTS			
Provide measurements in metres below and show on site plan (Refer to sample Site Plan for requirements)			
Total Lot Area (m <sup>2</sup> ) 464.55 m <sup>2</sup>		Front Yard Setback (m)	Primary Front: Secondary Front:
Building Footprint Area (m <sup>2</sup> ) 211.82 m <sup>2</sup>	Existing: Proposed:	Rear Yard Setback (m)	
Gross Floor Area (m <sup>2</sup> ) (Roofed floor area of all storeys)	274.25 m <sup>2</sup> <del>190.64 m<sup>2</sup></del>	Side Yard Setback (m) (Indicate N/S/E/W)	Side 1: 6 ft Side 2: 6 ft
Habitable Floor Area (m <sup>2</sup> ) (Dwelling Only - Sum of all above grade storeys – do not include garage or basement)	190.64 m <sup>2</sup>	Building Height (m) (Finished Grade to Top of Tallest Peak)	32 ft

WATER AND SEWER SERVICES				
Is your property connected to Municipal Services? <input type="checkbox"/> Water <input type="checkbox"/> Sanitary OR <input checked="" type="checkbox"/> Requires Connection from Street				
OR <input checked="" type="checkbox"/> Private (well) water and Private septic system capacity (if applicable): Capacity: _____ Number of Bedrooms: <del>10</del> 10 If none, please describe and show the location of private services on site plan. (water well & private septic system, including disposal)				
PARKING AND ACCESS Identify Parking and driveway on a separate attached site plan. See Land Use Bylaw Schedule 6 – Off-Street Parking and Loading Area Standards.				
# of parking stalls on property	4	# of driveway accesses / approaches	4	
Parking Stall Length (per stall – m <sup>2</sup> )	<del>3.81</del> 6.096	Parking Stall Width (per stall – m <sup>2</sup> )	3.81	
ADDITIONAL PROPERTY INFORMATION			Yes	No
Any abandoned wells on property: If yes, submission required pursuant to ERCB Directive 079			<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any known environmental issues or studies effecting this property: If yes, attach description/reports			<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any known historic buildings on the property or adjacent property:			<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the entire parcel of land (not just the development site): The subject of a license, permit, approval or other authorization granted by any of the following: Natural Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board or Alberta Utilities Commission, AND/OR The subject of a license, permit, approval or other authorization granted by the Minister of Environment and Protected Areas? If you answered "Yes" to any of these, please provide the approval, authorization number and/or license number here: _____			<input type="checkbox"/>	<input checked="" type="checkbox"/>
MOVED-IN BUILDING (If Applicable. May require additional authorization from Transportation Department)				
Year of Building	N/A	Date of Expected Move In	N/A	
SECONDARY SUITE INFORMATION (If Applicable)				
<input type="checkbox"/> Basement <input type="checkbox"/> Attached to Principal Building (A),(B) <input type="checkbox"/> Separate Building <input type="checkbox"/> Within Detached Garage (C),(D)				
(A) Net Floor Area of Principal Building (m <sup>2</sup> )	N/A		(B) Net Floor Area of Proposed Suite within Principal Building (m <sup>2</sup> )	
(C) Gross Floor Area of Detached Garage(m <sup>2</sup> )	N/A		(D) Gross Floor Area of Secondary Suite within Detached Garage(m <sup>2</sup> ) or as a Separate Building	N/A

The personal information provided as part of this application is collected under Sections 303 and 295 of the Municipal Government Act and in accordance with Section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing development permits, Land Use Bylaw enforcement and property assessment purposes. The name of the permit holder and the nature of the permit are available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact the Municipality.

**AUTHORIZATION**

- I am aware that this application will be reviewed by the Development Authority and may be delayed or refused if the application and/or information provided is incomplete. I will be notified within 20 days if it is complete or incomplete.
- I understand that additional information may be required after the application has been deemed complete.
- I understand if the subject property is located within an area where development constraints exist, (e.g., non-operating landfill, grade issues etc.) additional information and/or reports may be required.

The information I have provided herein and herewith is true, and to the best of my knowledge, accurate and complete.

[Redacted Signature]  
Name of Applicant (please print)

[Redacted Signature]  
Signature of Applicant

\_\_\_\_\_  
Name of Applicant (please print)

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Name of Owner (if different than applicant)

\_\_\_\_\_  
Signature of Owner

Registered Owner(s) Mailing Address: Bo [Redacted] [Redacted] AB [Redacted]

**OR**  Permission Letter Attached (Use if there is more than one owner, include authorization, signature, and contact information for each owner registered on the land title) **If the applicant or owner is a corporation, please attach a current corporate search**

**SAMPLE SITE AND ELEVATION PLAN (Sample Only – Please Provide Your Plans Separately)**



**SITE PLAN MUST INCLUDE:**

- Property Civic Address and North Arrow
- Adjacent roadway and lanes
- Lot dimensions and lot area
- Existing and Proposed structures identifying dimensions, including height, floor area, building footprint, habitable floor area (as applicable), percentage of lot coverage
- Distances from foundations to front, side and rear property lines (measured perpendicular to the lot line)
- Location of access, driveway, sidewalks and curbs and any registered utility right of ways or easements
- Location and number of off-street parking spaces
- Location of existing water and wastewater service connections, and alignment from property boundary to building (if known)

The personal information provided as part of this application is collected under Sections 303 and 295 of the Municipal Government Act and in accordance with Section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing development permits, Land Use Bylaw enforcement and property assessment purposes. The name of the permit holder and the nature of the permit are available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact the Municipality.

**E3**



Box 600  
Crowsnest Pass, Alberta  
TOK OEO  
Phone: 403-562-8833  
Fax: 403-563-5474  
Email: development@crowsnestpass.com

RECEIVED

MAR 03 2026

*Office U	
Application No.	DP2026-028
Land Use District	R-1
Roll No.	148600
Date Received	mar 3 2026

### Development Permit Application Form - Residential

(Single Detached-Dwelling, Multi-Unit Dwellings, Moved-In Buildings, Additions, Sheds, Decks, Garages, Porches, Secondary Suites)

PLEASE NOTE: This application is ONLY for a development permit. If a building permit is also required, you must apply for it separately prior to construction. Providing an email means you consent to receiving documents or communications related to this application, including but not limited to development permit decisions, acknowledgments confirming an application is complete, and any notices identifying any outstanding documents and information by email. Please be sure to complete the entire application. **Failure to send in a complete application can result in a delay of your permit.**

Applicant Information		Property Information	
Name	Derek Havens	Municipal Street Address	6510 22 avenue
Phone	[REDACTED]	Lot(s)	13
Email	[REDACTED]	Block	19
Mailing Address/Box#	Box [REDACTED]	Plan	232 A1
City and Postal Code	Blainville TOK-OEO		

#### Land Title Certificate and Registrations (Choose One)

- Current Certificate of Title and Registrations on Title (Within 3 Months - Attached)  
Obtain online from Land Titles (Spin2 website) or a Registries Office
- I am requesting the Municipality to obtain the required certificate of title and registered documents and apply all costs to the application fee (\$25.00)

#### PLEASE CONFIRM ONE OF THE FOLLOWING:

- I am the registered owner of the above noted property
- I have entered into a binding agreement to purchase the above noted property with the registered owner(s) (please attach a copy of the agreement)
- I have permission of the registered owner(s) of the above noted property to make the attached application for a Development Permit (please complete or attach a separate authorization letter from the owner with their contact information)

#### Type of Development (Check all that apply)

ITEMS REQUIRED TO SUBMIT WITH APPLICATION	Site Plan	Parking Plan (on Site Plan)	Elevation Plans	Floor Plans (Include Basement)	Landscape Plan	Photos (All Sides)
<input type="checkbox"/> Single Detached-Dwelling	✓	✓	✓	✓	•	•
<input checked="" type="checkbox"/> Multi-Unit Dwelling	✓	✓	✓	✓	✓	•
<input type="checkbox"/> Addition	✓	•	✓	•	•	•
<input type="checkbox"/> Garage, Shed, Deck, Porch	✓	•	✓	•	•	For Sea Can
<input type="checkbox"/> Secondary Suite	✓	✓	•	✓	•	•
<input type="checkbox"/> Moved-In Building	✓	For Dwelling	✓	For Dwelling	•	✓
<input type="checkbox"/> Existing Development	✓	✓	✓	If Applicable	•	✓

Proposed Use / Description of Proposed or Existing Development and Reason for Variance Request (If applicable):	Anticipated Start Date:
Duplex R-1 D'sectory/Variance (6' from front property line)	April 2026

The personal information provided as part of this application is collected under Sections 303 and 295 of the Municipal Government Act and in accordance with Section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing development permits, Land Use Bylaw enforcement and property assessment purposes. The name of the permit holder and the nature of the permit are available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact the Municipality.

DEVELOPMENT SPECIFICATIONS – ALL DEVELOPMENTS			
Provide measurements in metres below and show on site plan (Refer to sample Site Plan for requirements)			
Total Lot Area (m <sup>2</sup> )		Front Yard Setback (m)	Primary Front: Secondary Front:
Building Footprint Area (m <sup>2</sup> )	Existing: 0	Rear Yard Setback (m)	
	Proposed: 164.8 sqm		
Gross Floor Area (m <sup>2</sup> ) (Roofed floor area of all storeys)	292.8 sqm	Side Yard Setback (m) (Indicate N/S/E/W)	Side 1: 5'
			Side 2: 5'
Habitable Floor Area (m <sup>2</sup> ) (Dwelling Only - Sum of all above grade storeys – do not include garage or basement)	457.83 sqm	Building Height (m) (Finished Grade to Top of Tallest Peak)	10.25 Metres

WATER AND SEWER SERVICES				
Is your property connected to Municipal Services? <input type="checkbox"/> Water <input type="checkbox"/> Sanitary OR <input checked="" type="checkbox"/> Requires Connection from Street				
OR <input checked="" type="checkbox"/> Private (well) water and Private septic system capacity (if applicable): Capacity: _____ Number of Bedrooms: <u>3</u> If none, please describe and show the location of private services on site plan. (water well & private septic system, including disposal)				
<b>PARKING AND ACCESS</b> Identify Parking and driveway on a separate attached site plan. See Land Use Bylaw Schedule 6 – Off-Street Parking and Loading Area Standards.				
# of parking stalls on property	AM 2	# of driveway accesses / approaches	2	
Parking Stall Length (per stall – m <sup>2</sup> )	6.096m	Parking Stall Width (per stall – m <sup>2</sup> )	6.096m	
ADDITIONAL PROPERTY INFORMATION			Yes	No
Any abandoned wells on property: If yes, submission required pursuant to ERCB Directive 079			<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any known environmental issues or studies effecting this property: If yes, attach description/reports			<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any known historic buildings on the property or adjacent property:			<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the entire parcel of land (not just the development site): The subject of a license, permit, approval or other authorization granted by any of the following: Natural Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board or Alberta Utilities Commission, <b>AND/OR</b> The subject of a license, permit, approval or other authorization granted by the Minister of Environment and Protected Areas? If you answered "Yes" to any of these, please provide the approval, authorization number and/or license number here: _____			<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>MOVED-IN BUILDING</b> (If Applicable. May require additional authorization from Transportation Department)				
Year of Building		Date of Expected Move In		
SECONDARY SUITE INFORMATION (If Applicable)				
<input type="checkbox"/> Basement <input type="checkbox"/> Attached to Principal Building (A),(B) <input type="checkbox"/> Separate Building <input type="checkbox"/> Within Detached Garage (C),(D)				
(A) Net Floor Area of Principal Building (m <sup>2</sup> )		(B) Net Floor Area of Proposed Suite within Principal Building (m <sup>2</sup> )		
(C) Gross Floor Area of Detached Garage(m <sup>2</sup> )		(D) Gross Floor Area of Secondary Suite within Detached Garage(m <sup>2</sup> ) or as a Separate Building		

The personal information provided as part of this application is collected under Sections 303 and 295 of the Municipal Government Act and in accordance with Section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing development permits, Land Use Bylaw enforcement and property assessment purposes. The name of the permit holder and the nature of the permit are available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact the Municipality.

E5

**AUTHORIZATION**

- I am aware that this application will be reviewed by the Development Authority and may be delayed or refused if the application and/or information provided is incomplete. I will be notified within 20 days if it is complete or incomplete.
- I understand that additional information may be required after the application has been deemed complete.
- I understand if the subject property is located within an area where development constraints exist, (e.g., non-operating landfill, grade issues etc.) additional information and/or reports may be required.

The information I have provided herein and herewith is true, and to the best of my knowledge, accurate and complete.

\_\_\_\_\_  
Name of Applicant (please print)

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Name of Applicant (please print)

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Name of Owner (if different than applicant)

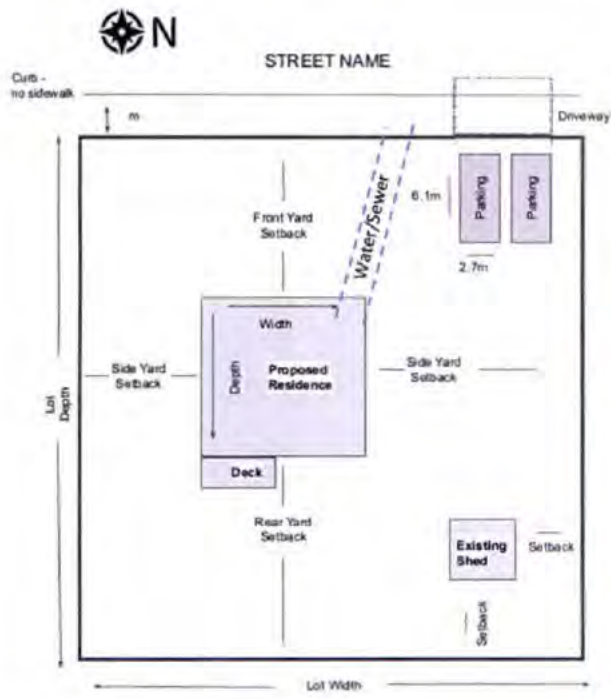
\_\_\_\_\_  
Signature of Owner

Registered Owner(s) Mailing Address: \_\_\_\_\_

Registered Owner Email(s) and Phone Number(s): \_\_\_\_\_

**OR**  Permission Letter Attached (Use if there is more than one owner, include authorization, signature, and contact information for each owner registered on the land title) **If the applicant or owner is a corporation, please attach a current corporate search**

**SAMPLE SITE AND ELEVATION PLAN (Sample Only – Please Provide Your Plans Separately)**



- SITE PLAN MUST INCLUDE:**
- Property Civic Address and North Arrow
  - Adjacent roadway and lanes
  - Lot dimensions and lot area
  - Existing and Proposed structures identifying dimensions, including height, floor area, building footprint, habitable floor area (as applicable), percentage of lot coverage
  - Distances from foundations to front, side and rear property lines (measured perpendicular to the lot line)
  - Location of access, driveway, sidewalks and curbs and any registered utility right of ways or easements
  - Location and number of off-street parking spaces
  - Location of existing water and wastewater service connections, and alignment from property boundary to building (if known)

**E6** *The personal information provided as part of this application is collected under Sections 303 and 295 of the Municipal Government Act and in accordance with Section 32(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing development permits, Land Use Bylaw enforcement and property assessment purposes. The name of the permit holder and the nature of the permit are available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact the Municipality.*

Photo Package Development Permit Application DP2026-25 – 6514 22 Avenue,  
Related Application: DP2026-28 – 6510 22 Avenue





22 Ave





**The following photos  
were during a 10 mm  
rain event this year**



**Top of driveway  
running onto  
property**





**Runoff flowing from 22 Ave to driveway. No curb and gutter present. Pavement ridge we installed a few years ago to assist with drainage. Breaks down due to snow removal over the winter.**



**There is currently a 4" PVC drain line we installed under our lawn to direct water flow across our lawn.**

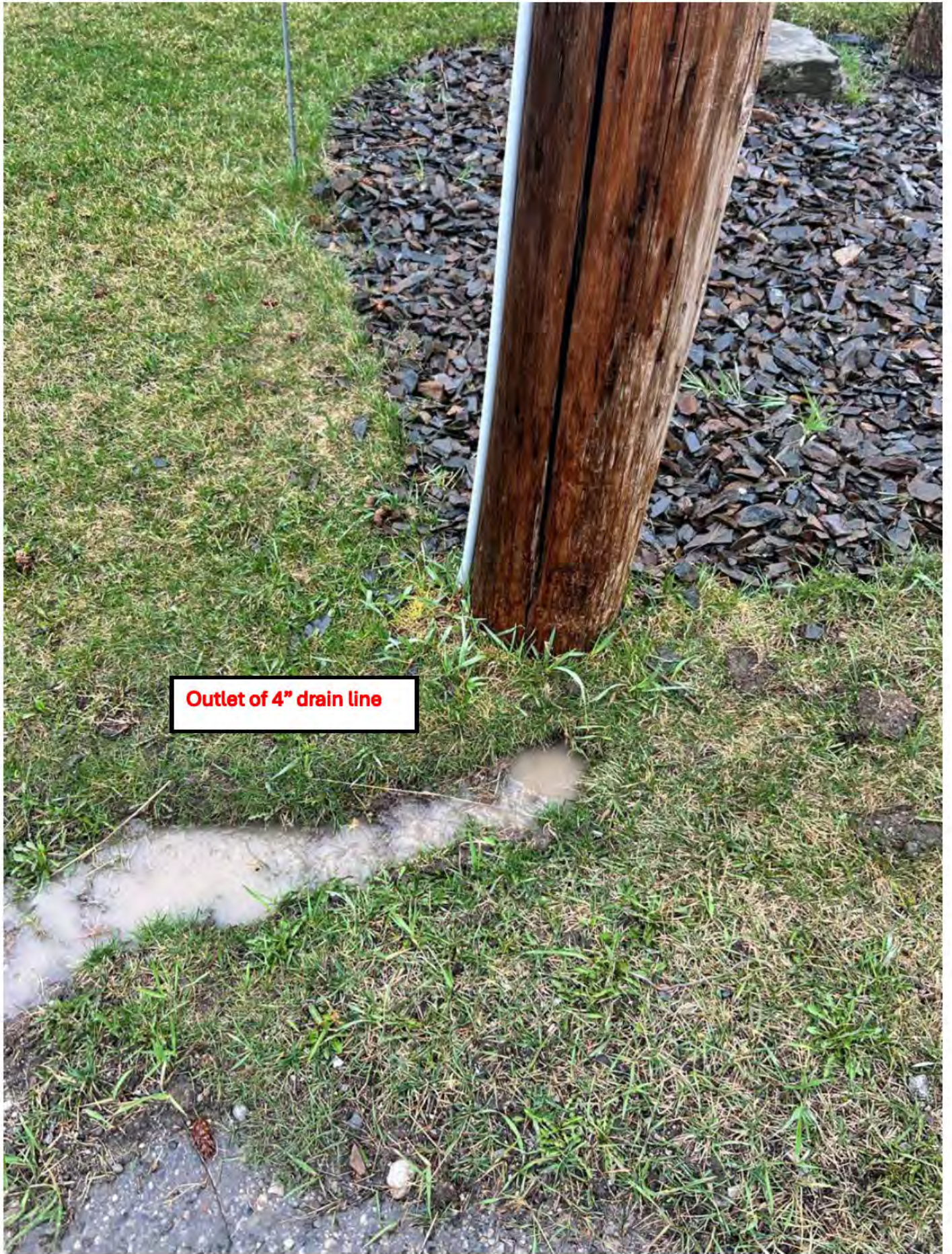




F10



F11



F12





F14



F15



F16



F17



F18

**The Telus pedestal will need to be relocated to meet the parking requirements for the Duplex.**





- 
- PRESENT:** Dean Ward, Chair  
Doreen Johnson, Vice Chair  
Sam Silverstone, Member  
Robert Schefter, Member  
Howard Vandenhoeft, Member  
Donald Budgen, Member
- ADMINISTRATIVE:** Katherine Mertz, Development Officer  
Johan Van Der Bank, Manager of Development & Trades  
Ryan Dyck, ORRSC  
Randi Lafreniere, Recording Secretary
- ABSENT:** Gaston Aubin (Apology)
- 

1. **Call to Order**

The chair called the meeting to order at 2:01 pm.

2. **Agenda**

**MOTION** by Doreen Johnson to accept the agenda with the following amendments:

Move “Development Permit Application Item 6.4 Memorandum – DP2026-019” to “10.1 – In Camera”.

**CARRIED**

3. **Minutes**

**MOTION** by Dean Ward to defer approval of March 25, 2026, minutes until after the 10.1 In Camera discussion.

**CARRIED**

4. **Consent Agenda**

N/A

5. **Requests for Decision - Subdivision Applications**

5.1 **Subdivision 2026-0-004** – Lot 4, Block 2, Plan 2411221 and part of NW ¼ 15-8-5-W5M.

**MOTION** by Donald Budgen to approve Subdivision Application 2026-0-004 with the resolution provided in the package.

**MOTION** by Sam Silverstone as a carried amending motion to the motion by Donald Budgen to include a condition of approval that the landowner shall provide architectural controls in the form of a restrictive covenant requiring that future landowners shall implement wildlife-friendly fencing as established in policies 5.3, 6.5.3(f), and 6.6.4(f) of the Tecumseh Road Area Structure Plan (Bylaw 1233, 2025) to the satisfaction of the subdivision authority as follows:

“Formal urban-style fencing shall be avoided, and new barbed wire shall be discouraged, and all fencing shall follow the Alberta Conservation Society guidelines for fencing (e.g. split-rail fencing or low-impact plantings) throughout the entirety of the Plan Area.”

**CARRIED**

**MOTION** by Donald Budgen to approve Subdivision Application 2026-0-004 with the resolution provided in the package and the amendment to include a restrictive covenant for architectural controls regarding fencing as approved in the motion by Sam Silverstone.

**CARRIED**

## **6. Requests for Decision – Development Permit Applications**

### **6.1 DP2026-025 – 6514 22 Avenue, Coleman (Lot 14, Block 19 Plan 232A1)**

For a “Duplex/Semi-Detached Dwelling” (discretionary use) with a 2% variance to the maximum height and a proposed 51% variance to the front yard setback.

**MOTION** by Sam Silverstone to approve DP2029-025 with conditions as identified by Alternative A in the MPC request for decision package.

**CARRIED**

### **6.2 DP2026-026 – SW 9-8-5-W5M (Lot N/A, Block N/A, Plan N/A)**

For the Phase 2 development of up to (3) off-gris cabins “Tourism Accommodation, Small” (Camping Accommodation) (discretionary use), including the existing Phase 1 development as per the Comprehensive Site Plan CSDP approved under development permit DP2023-076 and revised under DP2026-026. Development permit DP2023-076 approved the campground containing 12 RV sites (discretionary use), 3 existing accessory buildings (discretionary use), 1 existing cabin (discretionary use) and an overflow parking area as Phase 1 development, supported by a Comprehensive Site Development Plan that included the future development (Phase 2).

**MOTION** by Howard Vandenhoeft to approve DP2026-026 with conditions as identified by Alternative A in the MPC request for decision package.

**CARRIED**

**6.3 DP2026-028 – 6510 22 Avenue, Coleman (Lot 13, Block 19, Plan 232AI)**

For a “Duplex/Semi-Detached Dwelling” (discretionary use) with a 2% variance to the maximum height and a 70% variance to the front yard setback.

**MOTION** by Donald Budgen to approve DP2026-028 with conditions as identified by Alternative A in the MPC request for decision package.

**CARRIED**

**7. Land Use Bylaw Amendments**

N/A

**8. Appeals**

N/A

**9. Round Table Discussion**

N/A

**10. In Camera**

**10.1 Memorandum – DP2026-019 – 1301 East Hillcrest Drive, Hillcrest (Lot N/A, Block N/A, Plan N/A / NE 17-7-3-W5M)**

To reconsider DP2026-019 that was approved at the March 25, 2026, meeting.

**MOTION** by Howard Vandenhoeft to close the meeting to the public for Agenda Item 6.4 as per Section 197(2.1) of the Municipal Government Act, at 2:45pm.

*Those present: Dean Ward, Doreen Johnson, Sam Silverstone, Robert Schefter, Howard Vandenhoeft, Donald Budgen, Kristin Colucci*

**CARRIED**

*Left the meeting: Johan Van Der Bank, Katherine Mertz, Randi Lafreniere, Ryan Dyck, Members of the public.*

*Johan Van Der Bank, Katherine Mertz and Randi Lafreniere returned to the meeting at 3:30 pm*

*MPC provided information to Administration on the motion that was made in-camera in order to issue the Notice of Decision.*

**MOTION** by Sam Silverstone to come out of camera at 3:49pm.

**11. Next Meeting**

Wednesday, May 27, 2026, at 2:00pm

**CARRIED**

**12. Adjourn**

**MOTION** by Robert Schefter to adjourn the meeting at 3:50pm.

**CARRIED**

**13. Signing of Minutes**

*Approved By:*

\_\_\_\_\_  
*Chairperson*

\_\_\_\_\_  
*Date*

\_\_\_\_\_  
*Manager of Development and Trades*

\_\_\_\_\_  
*Date*

# MEMORANDUM



To: Subdivision and Development Appeal Board (SDAB)

From: Katherine Mertz, Development Officer and  
Johan van der Bank, Manager of Development & Trades  
Municipality of Crowsnest Pass (MCNP)

Date: May 19, 2026

Re: SDAB File: DP2026-025 and DP2026-028 – hearing scheduled for June 3, 2026.  
Municipal File: DP2026-025 and DP2026-028  
Roll File: 1148601 & 1148600

---

## 1.0 Location (Streetview photos attached)

1.1 The two Residential parcels, described as Lot 13 Block 19 Plan 232AI and Lot 14, Block 19 Plan 232AI are located in west Coleman in the subdivision known as Carbondale.

## 2.0 Land Use District:

2.1 District: Residential (R-1)

*Purpose: To provide for a residential environment with the development of predominantly Single-Detached Dwellings while providing opportunities for additional land uses.*

## 3.0 Background:

3.1 The parcels are both vacant.

## 4.0 Proposed Development:

4.1 The development permit application DP2026-025 was submitted February 25, 2026, and was deemed complete on March 17, 2026. The development permit application DP2026-028 was submitted March 3, 2026, and was deemed complete on March 23, 2026. A notice of decision was issued for both DP2026-025 and DP2026-028 on April 23, 2026, with a 21-day appeal period.

**(Municipal Planning Commission Request for Decision - Submission Attached)**

4.2 Proposed Development:

**DP2026-025:** For a “Duplex / Semi- Detached Dwelling” (discretionary use) with a 2% variance to the maximum height and a proposed 51% variance to the front yard setback.

Duplex / Semi-Detached Dwelling	Standard	Proposed	Variance
Front Yard Setback	6.1m	3.0m	51% 3.1m
Rear Yard Setback	7.6m	12m	N/A
Side Yard Setback (East)	1.5m	1.83m	N/A
Side Yard Setback (West)	1.5m	1.83m	N/A
Maximum Height – two storey walkout basement	13m	13.3m	2% 0.3m
Maximum Lot Coverage on one certificate of title (lot area 465.88m <sup>2</sup> )	45% (209.65m <sup>2</sup> )	45% (208.29m <sup>2</sup> )	N/A
Off-street Parking	2 Parking Stalls / Unit = 4 stalls	2 stalls / unit = 4 stalls	N/A

DP2026-028: “For a “Duplex / Semi- Detached Dwelling” (discretionary use) with a 2% variance to the maximum height and a 70% variance to the front yard setback

Duplex / Semi-Detached Dwelling	Standard	Proposed	Variance
Front Yard Setback	6.1m	1.83m	70% (4.27m)
Rear Yard Setback	7.6m	10.73m	N/A
Side Yard Setback (East)	1.5m	1.83m	N/A
Side Yard Setback (West)	1.5m	1.83m	N/A
Maximum Height – two storey walkout basement	13m	13.3m	2% 0.3m
Maximum Lot Coverage on one certificate of title (lot area 466.08m <sup>2</sup> )	45% (209.74m <sup>2</sup> )	45% (208.29m <sup>2</sup> )	N/A
Off-street Parking	2 Parking Stalls / Unit = 4	2 stalls / unit = 4	N/A

- 4.3 The applicant intends to subdivide both parcels, proposing a single duplex unit (half duplex) on each certificate of title. If the subdivision is refused, the duplex (both units) will remain in a single certificate of title.
- 4.4 An individual service connection must be brought to the property line for each duplex unit, assuming that subdivision will be approved. If the subdivision is unsuccessful, only the one service connection for each titled property will be allowed.
- 4.5 The proposed dwellings appear to be located on a slope greater than 16%. Therefore, pursuant to Schedule 4, Section 17.2, the applicant shall, prior to development permit issuance, submit a slope stability assessment with recommendations for foundation design and site grading. The assessment must be prepared, stamped, and permitted by a Professional Engineer, demonstrating the viability and safety of the proposed development.

4.6 Following the notice of decision, the applicant submitted a letter from a Professional Engineer addressing the requirements noted above. This letter was prepared only for DP2026-025 at 6514 – 22 Avenue. A similar letter for DP2026-028 at 6510 – 22 Avenue was not provided and remains outstanding **(See Letter attached)**

## **5.0 Municipal Development Plan Bylaw No. 1059, 2020:**

### 2.1 New Residential Development

Policy 2.1.4 Infill development - "Residential infill development shall be promoted throughout the community". "Infill development shall be designed to .... respect mature neighbourhoods by being compatible ... to existing dwellings in the neighbourhood, while bearing in mind modern day housing trends."

## **6.0 Land Use Bylaw No. 1165, 2023:**

The development permit application was reviewed and approved subject to conditions and in accordance with section 13.3 and 13.4 of the Administration section of the Land Use Bylaw, and standards of development in sections 15.3, 15.4, and 15.5 of Schedule 4 in the Land Use Bylaw.

### *Considerations for Discretionary Uses*

*13.3 When making a decision on a development permit for a discretionary use, the Development Authority shall seek to achieve the orderly, compatible, economical and beneficial use of land, development, and patterns of settlement, and to maintain and improve the quality of the physical environment, within the following context, but not limited to it:*

- (a) the decision must be in accordance with the South Saskatchewan Regional Plan;*
- (b) the decision must have regard to applicable statutory plans and comply with the same however, where discrepancy exist between an applicable statutory plan and this Bylaw, the Land Use Bylaw takes precedence over a statutory plan;*
- (c) the decision must have regard to the provisions of applicable non-statutory plans or studies affecting the parcel or type of development;*
- (d) the appropriateness of the location and the suitability of the parcel for the proposed development;*
- (e) the compatibility and impact of the proposed development with respect to existing and future adjacent development and the neighbourhood;*
- (f) the merits of the proposed development;*
- (g) access, transportation and servicing requirements;*
- (h) the Subdivision and Development Regulation;*
- (i) stormwater management and site grading;*
- (j) the land use definitions, the purpose statement of the applicable land use district, the development standards of the applicable land use district and the applicable Schedules in this Bylaw.*

### Considerations for Variances

- 13.4 The Municipal Planning Commission or the Development Officer, subject to the restrictions established under Variance and Encroachment Authority in this Bylaw, and the Subdivision and Development Appeal Board, as may be applicable, may approve an application for, or an appeal of, a development permit even though the proposed development does not comply with the standards in this Bylaw if, in the opinion of the Municipal Planning Commission, the Development Officer or the Subdivision and Development Appeal Board:
- a) the proposed development would not unduly interfere with the amenities of the neighbourhood, or materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land;
- and**
- b) the proposed development conforms with the use prescribed for the subject land or building in Schedule 2.
- 13.5 The Development Authority shall not approve a variance for a yard setback unless the relevant provisions and standards for yard setback variances in Schedule 4 are complied with.

### 15. LOT GRADING, DRAINAGE AND STORMWATER MANAGEMENT (RETAINING WALLS)

- 15.1 For Exploratory Excavation / Grade Alteration / Stockpiling, see section **Error! Reference source not found.** of this Schedule.
- 15.2 Notwithstanding any other provision in this Bylaw, including exemptions provided for in Schedule 3, a development (i.e. land use activity, construction or earthworks) that involves or may result in:
- (a) a change to existing overland stormwater drainage patterns, whether natural or man-made, to an extent that may affect stormwater drainage to adjacent property, public road, or public lane, or
  - (b) a change to the existing grade of a property by more than 1.20 metres, or
  - (c) a deviation or variation in the finished grade elevation between the subject parcel and adjacent property, public road, or public lane, or
  - (d) a side slope ratio (metres) that exceeds 3:1 or a back slope ratio (metres) that exceeds 2:1,
- shall not be undertaken** without first obtaining a development permit, or a conditional approval as the case may be, that is supported by an engineered grading plan.
- 15.3 Development shall comply with the following standards:
- (a) In no circumstances shall any part of a building, including eaves, encroach into or cause runoff onto an adjoining property.
  - (b) The Developer and/or the Landowner shall ensure that any changes to the lot grading maintains positive drainage directing the flow of all surface stormwater away from building foundations towards adjacent streets and lanes without adversely affecting (e.g. erosion, flooding) the subject parcel, adjacent properties, roads, lanes, public property, or public infrastructure, including where applicable in such a manner that the post-development rate and volume of surface stormwater drainage from the subject property do not exceed the pre-development rate and volume of surface stormwater drainage.
  - (c) Roof and surface drainage shall be directed either:

- (i) to the public roadway or lane adjacent to the property, or
- (ii) to a rear or side property boundary pursuant to an approved engineered grading plan or stormwater management plan,

and it shall not drain from the subject parcel in any other manner, except as approved in an engineered grading plan or stormwater management plan.

- (d) A developer and/or the landowner shall ensure that a site on which a development is carried out is graded and construction of the development is completed in such a manner that surface stormwater runoff from the site complies with the standards in subsections (a), (b) and (c).
- (e) A developer and/or the landowner shall undertake and complete the construction of an approved engineered grading plan or stormwater management plan at no cost to the Municipality.
- (f) Should a retaining wall be required as part of the stormwater drainage system, and the retaining wall was not previously approved in a development permit, an additional development permit is required.

15.4 In order to deem a development permit application as complete the Development Authority, having consideration for site-specific field conditions including but not limited to slope, apparent drainage patterns, and an actual or potential deviation or variation in the finished grade elevation between the subject parcel and adjacent property, public road, or public lane, may require that an applicant provides to the Development Officer and/or includes into their site plan design, as may be applicable, any or all of the following:

- (a) an engineered grading plan and/or drainage plan and/or other measures deemed appropriate to control surface drainage, reduce, eliminate or resolve finished grade differences between the subject parcel and adjacent property, public road, or public lane, and minimize erosion or slope instability.
- (b) the construction of a retaining wall when, in the opinion of the Development Authority, significant grade differences exist or will exist after construction between the subject parcel and adjacent property, public road, or public lane.
  - (i) A retaining wall that is either greater than 1.2 m (4 ft) in height above grade and/or that is critical to the support of building foundations, shall be designed by a professional engineer (see definition).
  - (ii) Should a retaining wall be required, and the retaining wall was not previously approved in a development permit, an additional development permit is required.
  - (iii) Notwithstanding any other provision in this Bylaw, a retaining wall is deemed to be an accessory structure and may be constructed with a zero-lot line yard setback without requiring the approval of a variance.

15.5 The Development Authority **may** impose conditions on a development permit for the purposes of subsections 15.3 and 15.4, including conditions to ensure that the applicant and/or landowner:

- (a) Is(are) responsible for ensuring adherence to and completion of construction in accordance with the approved engineered grading plan and/or drainage plan; and
- (b) Provide(s) a survey or lot grading certificate stamped and permitted by an Alberta Land Surveyor or a professional engineer upon completion of the development to demonstrate that the approved engineered grades and drainage design have been implemented satisfactorily.

**7.0 Conclusion:**

7.1 Municipal Government Act, s. 685(2) provides that any person affected by an order, decision or development permit made or issued by a development authority may appeal the decision.

Based on the arguments set forth above, the Development Authority respectfully requests that the Subdivision and Development Appeal Board dismiss the appeal and uphold the decision by the Development Authority.



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**Katherine Mertz B.SC**  
Development Officer



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**Johan van der Bank** M.TRP, RPP  
Manager Development & Trades



H7





Municipality of Crowsnest Pass  
Municipal Planning Commission  
Request for Decision

Meeting Date	April 22, 2026
Application No.	DP2026-025
Roll No.	1148601
Civic Address	6514 22 Avenue, Coleman
Legal Address	Lot 14 Block 19 Plan 232AI
Land Use District	Residential R-1
Overlay District	N/A

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## Proposed Development

For a “Duplex / Semi- Detached Dwelling” (discretionary use) with a 2% variance to the maximum height and a proposed 51% variance to the front yard setback.

### Background

- The parcel is vacant with a single service connection.

### Discussion

- A “Duplex / Semi- Detached Dwelling” is a discretionary use within the Residential R-1 land use district. The requested variance to the front yard setback exceeds 50%. For these reasons, the application requires MPC review.
- The applicant intends to subdivide the parcel, proposing a single duplex unit (half duplex) on each certificate of title. If the subdivision is refused, the duplex (both units) will remain in a single certificate of title.
- Condition 4 requires that individual service connections be brought to the property line for each duplex unit, assuming that subdivision will be approved. The condition includes the alternative, i.e. one service connection for the single property with two duplex units on it (if subdivision is unsuccessful).
- A minimum 3.1m boulevard is available at the northeast corner of the property, which gradually increases toward the west.
- To accommodate a parking stall with a depth of 6.1m, the dwelling must maintain a minimum front yard setback of 3.0m.
- Should a sidewalk be constructed in the future, an additional 1.4m setback would be required, increasing the total front yard setback to 4.4m. However, the Municipality’s Transportation Manager has indicated that a future sidewalk along 22 Avenue is unlikely; therefore the Development Office considers the 3.0m front yard setback to be acceptable.
- The applicant has agreed to revise the proposal to reflect a minimum 3.0m front yard setback.

- Schedule 6 Section 1.4, grants the Development Authority on a case-by-case basis allow for that portion of a private driveway that is wholly or partially located on / encroaching within the public boulevard portion of an urban street, on the condition that a vehicle parked in a driveway shall not overhang a public street curb, shall not overhang any portion of the driving surface of a public street, and shall not obstruct a public sidewalk.
- The proposed dwelling appears to be located on a slope greater than 16%. Therefore, pursuant to Schedule 4, Section 17.2, and as outlined in Condition 4, the applicant shall, prior to development permit issuance, submit a slope stability assessment with recommendations for foundation design and site grading. This assessment must be prepared, stamped, and permitted by a Professional Engineer, demonstrating the viability and safety of the proposed development.
- The proposed development is the same structure as the proposed development on the adjacent Lot 13 in a mature neighbourhood (which is the subject of DP2026-028 elsewhere on the MPC agenda). The MPC has the authority to require additional standards subject to Quality and Design of Development under Schedule 4, section 22. Streetview photos attached.

*22.1 In addition to the standards established in this Bylaw, the Development Authority may require additional standards as a condition of a development permit, in order to improve the quality of any proposed development such as, but not limited to, hard-surfaced parking areas, exterior finishes to buildings, landscaping, yard setbacks, slope-adaptive building and site design considerations, and the impact on existing development in mature neighbourhoods or areas of historic significance.*

*22.2 Development shall comply with the following standards:*

- *The design, character and appearance of buildings, signs and properties shall be consistent with the intent of the land use district in which the building, sign or property is located and compatible with other buildings, signs and properties in the same district in the vicinity.*
- *The Development Authority may regulate the exterior finish of buildings or signs to improve the quality of any proposed development within any land use district.*
- *The Development Authority may require that the appearance of walls exposed to public view from beyond the site be improved where, in its opinion, the appearance of such walls is incompatible with the finishing standards of surrounding developments.*
- *The maximum allowable height above the average finished surface level of the surrounding ground of the exposed portion of a concrete or block foundation may be limited by the Development Authority.*
- *If a building is to be located on a lot with more than one street frontage or on a lot with potential for further subdivision, the Development Authority may regulate the orientation and location of the building as a condition of development approval.*

### **Notification**

In accordance with Administration Section 20 of the LUB, notification to the Applicant and affected landowners will occur by regular mail and/or a newspaper advertisement after the MPC has decided upon the application. Affected parties will have 21 days from the date of the notification to appeal the decision.

### **Appeal Jurisdiction**

The Subdivision and Development Appeal Board has jurisdiction to hear an appeal of the Development Authority's decision on this development permit.

## Alternatives

A. Approve the development permit application for DP2026-025, subject to the following conditions:

1. The Development Permit approved in this Notice of Decision shall not be issued and shall be of no effect, and construction / placement of the development shall not commence, until all “Prior to Issuance Conditions” stated in this Notice of Decision have been met or fulfilled.
2. This Notice of Decision shall remain effective for a period of six (6) months and shall then expire and be deemed null and void unless the applicant or landowner (proponent of the proposed development) to whom the Notice of Decision was issued continues to collaborate with the Development Authority to satisfy or complete the “Prior to Issuance Conditions” and, if required, an extension is approved by the Development Authority.

**Prior to Issuance Conditions** (these conditions are to be satisfied prior to issuance of a development permit and will only form part of the Notice of Decision and not part of the formal development permit issued however, the development permit shall be of no effect until these conditions have been satisfied)

3. An appeal period of twenty-one (21) days from the date of the Development Authority’s Notice of Decision applies, and if any appeals are submitted the development permit shall not be issued until such appeals are dealt with by the Subdivision and Development Appeal Board or the Land and Property Rights Tribunal, as may be applicable.
4. The applicant / landowner shall provide a slope stability assessment with recommendations for foundation design and site grading, stamped and permitted by a professional engineer demonstrating the viability and safety of the proposed development pursuant to Schedule 4, section 17.2.

**Time Specific Conditions After Issuance** (deadline for enforcement or for the validity of the development permit)

5. Pursuant to Schedule 4, section 21.5 in the Land Use Bylaw, the property shall be serviced with a single water and wastewater service connection, except as required in par. 5a):
  - a) If a subdivision has been approved **and registered at the Land Titles Office**, whereby the subject property is subdivided into two certificates of title for each of the half duplex units, then the landowner / applicant shall enter into a service connection agreement with the Municipality to bring a water and wastewater service connection to the property line of each titled parcel, stubbed from the existing water and wastewater mains in 22Ave, at no cost to the Municipality.
6. The applicant or landowner shall commence the approved development and carry it out with reasonable diligence, in the opinion of the Development Officer, within 12 months from the date of issuance of the development permit and / or within the specific timelines and by the specific deadlines stated in this development permit, otherwise the permit shall be deemed to be null and void (for this purpose, “commence” may include applying for a building permit under the Safety Codes Act).
7. When a development permit involves construction, the applicant or landowner shall complete exterior work to the Development Officer’s satisfaction within 36 months after the date of the issuance of the development permit (regardless of the date of issuance of a building permit under the safety Codes Act or the date of the start of construction) and / or within the specific timelines and by the specific deadlines stated in this development permit, otherwise the applicant or landowner shall be deemed to be in contravention of the development permit conditions.

8. The landowner or applicant shall confirm permitting requirements for the proposed building / structure with the discipline specific Safety Codes Officer, and shall provide to the Development Officer copies of Safety Codes permit applications (Building, Electrical, Gas, Plumbing, Private Sewage Disposal System) when the same are made or copies of Safety Codes permits issued immediately upon issuance to demonstrate that such applications or permits are consistent with the development permit issued for the proposed development.

**Conditions of a Continuing Nature (Permanent Conditions)**

9. The applicant or landowner shall ensure that the development complies with and is carried out and completed in its entirety in conformance with the attached approved site plan and the development standards in the Land Use Bylaw 1165, 2023 (except as approved by variance in the table below). Failure to conform to the approved site plan without an approved amendment may result in enforcement measures pursuant to the Municipal Government Act and the Land Use Bylaw:

Duplex / Semi-Detached Dwelling	Standard	Proposed	Variance
Front Yard Setback	6.1m	3.0m	51% 3.1m
Rear Yard Setback	7.6m	12m	N/A
Side Yard Setback (East)	1.5m	1.83m	N/A
Side Yard Setback (West)	1.5m	1.83m	N/A
Maximum Height – two storey walkout basement	13m	13.3m	2% 0.3m
Maximum Lot Coverage on one certificate of title (lot area 465.88m <sup>2</sup> )	45% (209.65m <sup>2</sup> )	45% (208.29m <sup>2</sup> )	N/A
Off-street Parking	2 Parking Stalls / Unit = 4 stalls	2 stalls / unit = 4 stalls	N/A

10. The Developer and/or the Landowner shall ensure that any changes to the lot grading maintains positive drainage directing the flow of all surface stormwater away from building foundations towards adjacent streets and lanes without adversely affecting (e.g. erosion, flooding) adjacent properties, roads, lanes, public property, or public infrastructure, including where applicable in such a manner that the post-development rate and volume of surface stormwater drainage from the subject property do not exceed the pre-development rate and volume of surface stormwater drainage. Should retaining walls be required as part of the stormwater drainage system, additional development permits are required, and construction shall be completed by the landowner at no cost to the municipality.
11. The Land Use Bylaw 1165, 2023, as amended, contains development standards and regulations that apply to this development permit and for which the landowner is responsible to comply with, at no cost to the Municipality of Crowsnest Pass. These regulations address matters relating to many aspects of the approved development or use e.g., access to the property, lines of sight, public safety setbacks, parking requirements, lot grading, maintaining positive drainage towards abutting roads and/or lanes, outdoor storage, etc. It is the Landowner’s and/or Applicant’s responsibility to ensure that they are fully aware of and comply with all the applicable development standards and regulations in the Land Use Bylaw that may apply to the proposed development or use. Please contact the Municipality’s Department of Development, Engineering & Operations for assistance if required.

12. When construction is involved for a development approved under this development permit, the landowner and/or the applicant to whom this development permit was issued and their successors in title, are responsible to, and shall ensure that the location of the building(s) relative to the subject property boundaries (i.e. approved yard setbacks, including variances if any), as approved in the attached site plan, and relative to easements on the subject property, is staked out by either an Alberta Land Surveyor, a professional engineer (see definition), or another certified agent, prior to the pouring of building foundations. At any time during or after construction, the Development Officer may require that the landowner of the subject property provide the stake-out, a survey and/or a survey drawing (or a Real Property Report) of the subject property and/or the building footprint relative to the subject property boundaries and easements, at no cost to the Municipality.
13. This development permit approves only the development contained herein, and a further application is required for any changes or additions.
14. Failure to comply with any one or more of the conditions listed in this development permit either by a specified deadline or at any time throughout the lifetime of the development permit, as may be applicable, or implementation of the development contrary to the approved site plan and/or approved variances, shall result in enforcement through a Stop Order and corresponding fees, rates, charges, or fines pursuant to the Municipality's Fees, Rates and Charges Bylaw in effect at the time of the non-compliance.

**Important Information & Notes:**

- a) The review or approval of a development permit application does not include matters that are regulated by other authorities, for example but not limited to a building permit (Safety Codes Act, s. 66), community health standards, wildlife species at risk, or approvals required from Alberta Environment and Protected Areas or the federal Department of Fisheries and Oceans. Therefore, the Municipality of Crowsnest Pass and/or its Development Authority do not conduct or require independent environmental checks or other investigations or assessments of private land [for example, but not limited to, matters regarding species at risk, migratory birds, birds of prey, bear dens, or other wildlife, or underground mines, or the presence or absence of any environmental contaminants (except, regarding the latter, requiring an environmental study for a setback distance variance pursuant to the Matters Related to Subdivision and Development Regulation AR 84/2022, and except studies and assessments as may be required pursuant to the Land Use Bylaw, e.g. a slope stability assessment)]. If the landowner, the development permit applicant, or an adjacent landowner or other affected party is concerned about any such matters, they should conduct their own tests and reviews. When issuing a development permit, the Municipality of Crowsnest Pass and/or its Development Authority approve a proposed development only for land use planning purposes, and do not make representations and do not offer warranties as to the suitability or otherwise of the subject property for any purpose.
- b) By accepting the development permit issued herein, or issued subsequent to an appeal decision, and by acting to implement the development approved within this development permit, the landowner and applicant indemnifies and holds harmless the Municipality of Crowsnest Pass, its Development Authority, and its employees and agents from any and all claims, demands, actions, and costs whatsoever that may arise, directly or indirectly, from anything done or omitted to be done in the construction, maintenance, alteration or operation of the works authorized in the development permit.
- c) It is the responsibility of the landowner, including successors in title, to comply with the conditions imposed on this development permit.
- d) The issuance of a Development Permit indicates only that the development to which the Development Permit relates is authorized in accordance with the provisions of the Municipality of Crowsnest Pass Land Use Bylaw and does not in any way relieve or excuse the Landowner and/or the Development Permit holder from obtaining any other permit (including authorization to modify a wetland, safety codes permits e.g. building, electrical, gas, plumbing, Historical Resources Act approval, Highways Development and Protection Act, etc.), license, or other authorization required by any Federal or Provincial Act or regulation, or under any Bylaw of the Municipality (e.g. a business license), or complying with the conditions of any easement, covenant, agreement, or other instrument affecting the building or land. The Landowner and/or the Applicant is responsible to ensure compliance with these matters, at the sole risk and responsibility of the Applicant/property owner to the exoneration of the Municipality of Crowsnest Pass from any liability related to these matters, and at no cost to the Municipality of Crowsnest Pass. The applicable requirements may include the following:

- (i) An application under the Historical Resources Act via the Online Permitting and Clearance (OPaC) process (<https://www.alberta.ca/online-permitting-clearance>) to the Historic Resources Management Branch of Alberta Arts, Culture, and Status of Women, and compliance with any requirements, terms, and conditions of such clearance.
- e) The Applicant/property owner is responsible for the following aspects as may be applicable to this development permit, at the sole risk and responsibility of the Applicant/property owner to the exoneration of the Municipality of Crowsnest Pass from any liability related to these matters, and at no cost to the Municipality of Crowsnest Pass:
- (i) Determining the legal property boundaries and any applicable easements through a survey by an Alberta Land Surveyor before foundations are excavated or poured and before construction proceeds above ground level.
  - (ii) Ensuring that any structures approved under this Development Permit are constructed such that they are correctly set back from the property boundaries in compliance with the front, rear, and side yard setbacks approved in this Development Permit. The landowner should consult an Alberta Land Surveyor for this purpose.
  - (iii) Ensuring that the development and the associated excavation and/or construction activity approved under this Development Permit shall not disturb, affect, or alter conditions of all utilities and appurtenances, drainage rights-of-way, utility rights-of-way, access rights-of-way, and any easements as they may exist, over, under, or through the Lands. The landowner should consult a professional engineer and/or an Alberta Land Surveyor and/or the relevant utility company / utility owner for this purpose.
  - (iv) Ensuring that the development and/or any associated structures and/or the associated excavation and/or construction activity approved under this Development Permit is undertaken in a manner that does not cause or result in a public safety risk or concern, or a nuisance, disturbance, or damage to adjacent properties and/or roads, lanes, or other municipal infrastructure. The landowner should consult a legal professional, a professional engineer and/or an Alberta Land Surveyor for this purpose.
  - (v) Ensuring that all equipment, waste bins, portable toilets, building materials, and excavation stockpiles associated with construction activity approved under this development permit are placed within the subject property boundaries, and that where such items must encroach onto adjacent private property and/or adjacent boulevards, sidewalks, streets and /or lanes, that the adjacent landowner's consent has been obtained and/or that the Municipality has authorized such encroachment through a hoarding permit under the Traffic Bylaw (please contact the Manager of Transportation or a Community Peace Officer).
  - (vi) Making suitable arrangements with utility companies for the provision of all services and/or necessary easements for utility rights-of-way.
  - (vii) Notifying Utility Safety Partners (Alberta 1st Call) at <https://utilitysafety.ca/wheres-the-line/submit-a-locate-request/> or 1-800-242-3447 to arrange for field location of buried utilities prior to excavation for the proposed development.
  - (viii) Ensuring that permanent structures are located outside the 1:100-year flood plain of any water body. The landowner should consult a wetland assessment practitioner and/or an Alberta Land Surveyor for this purpose.
  - (ix) Ensuring that construction activity approved under this Development Permit does not result in the modification of a wetland without provincial approval. The landowner should consult a wetland assessment practitioner for this purpose.
  - (x) Ensuring that foundation and drainage systems on a property with an effective grade / slope of greater than 15% are designed in accordance with the recommendations in a slope stability assessment and/or a grading plan / stormwater management plan, as may be applicable, prepared by a professional engineer, and that the same are constructed under the supervision of a professional engineer, to protect the bank from erosion and to ensure slope stability.
  - (xi) Ensuring that a 2-meter separation is provided between the water table and footings for the buildings. The landowner should consult a professional engineer for this purpose.
  - (xii) Ensuring that sub-surface conditions are suitable for the proposed construction and, where necessary, that foundations have been designed by a professional engineer.
  - (xiii) Ensuring that the property is graded in such a manner that positive drainage directing the flow of all surface stormwater away from building foundations towards adjacent streets and lanes is maintained without adversely affecting (e.g. erosion, flooding) adjacent properties, roads, lanes, public property, or public infrastructure, including where applicable in such a manner that the post-development rate and volume of surface stormwater drainage from the subject property do not exceed the pre-development rate and volume of surface stormwater drainage. Should retaining walls be required as part of the stormwater drainage system, additional development permits are required, and construction shall be completed by the landowner at no cost to the municipality. Where an approved grading plan or stormwater management plan exists, the property must be graded (finished grade) in accordance with the grading plan or

stormwater management plan. The landowner should consult a professional engineer and an Alberta Land Surveyor for this purpose.

(xiv) Being aware of FireSmart Regulations including the Municipality's FireSmart Bylaw and Safety Codes Permit Bylaw as may be applicable.

(xv) This document does not provide permission to commence a use, start construction or occupy a building (as may be applicable) until all prior to issuance conditions have been satisfied to the Development Authority's satisfaction, and any applicable appeal period has expired. It is the owner's responsibility to ensure that all development permit conditions have been satisfied, and other applicable permits are applied for and issued before commencing a use, start construction, or occupy a building, and that construction is inspected and permits closed, before occupancy. It is the responsibility of the owner or owner's agent to make an application to the Municipality for an Occupancy and Completion Certificate prior to taking occupancy.

f) As part of the development permit review the Development Officer considered the following items checked in the table below, and relevant conditions were imposed on the development permit as deemed applicable:

Lot (m <sup>2</sup> )	465.88	Provincial Historic Resource Value (Archaeology)	4a
Abandoned Gas Wells	N/A	Abandoned Coal Mines	N/A
Transportation & Economic Corridor (direct access or structure within 40 m of Hwy 3 / 40)	N/A	Provincial Historic Designation	N/A
Hydrography through parcel	N/A	Historic Commercial Areas Overlay District	N/A
High Pressure Gas Main Preferred Referral (Yes – Send Notice)	N/A	Municipal Historic Resource Designation / MCNP Heritage Inventory	N/A
Contours – Steep Grade	Yes	Historic Resource Designation by Bylaw	N/A
Area Structure Plan	N/A	Coleman National Historic Site	N/A
Cadastral – URW on parcel	N/A	Areas of Potential Environmental Concern Overlay District / Lagoon	N/A
Flood Hazard	N/A	Wetlands	N/A
Forestry Reserve	N/A	Miistakis	N/A

- OR -

B. Deny the development permit application, stating the reason for this decision.

#### Attachments

1. Location Maps
2. Contour and Road Centre line setback Map
3. Site Plan
4. Elevation
5. Streetview

#### Recommendation

The Development Office recommends that the Municipal Planning Commission approves DP2026-025 subject to the conditions in Alternative A.

#### Authorization



Katherine Mertz B.SC  
Development Officer



Johan van der Bank, M.TR.P, RPP  
Manager Development & Trades

Lot 14 Block 19 Plan 232AI

6514 22 Avenue, Coleman



H16



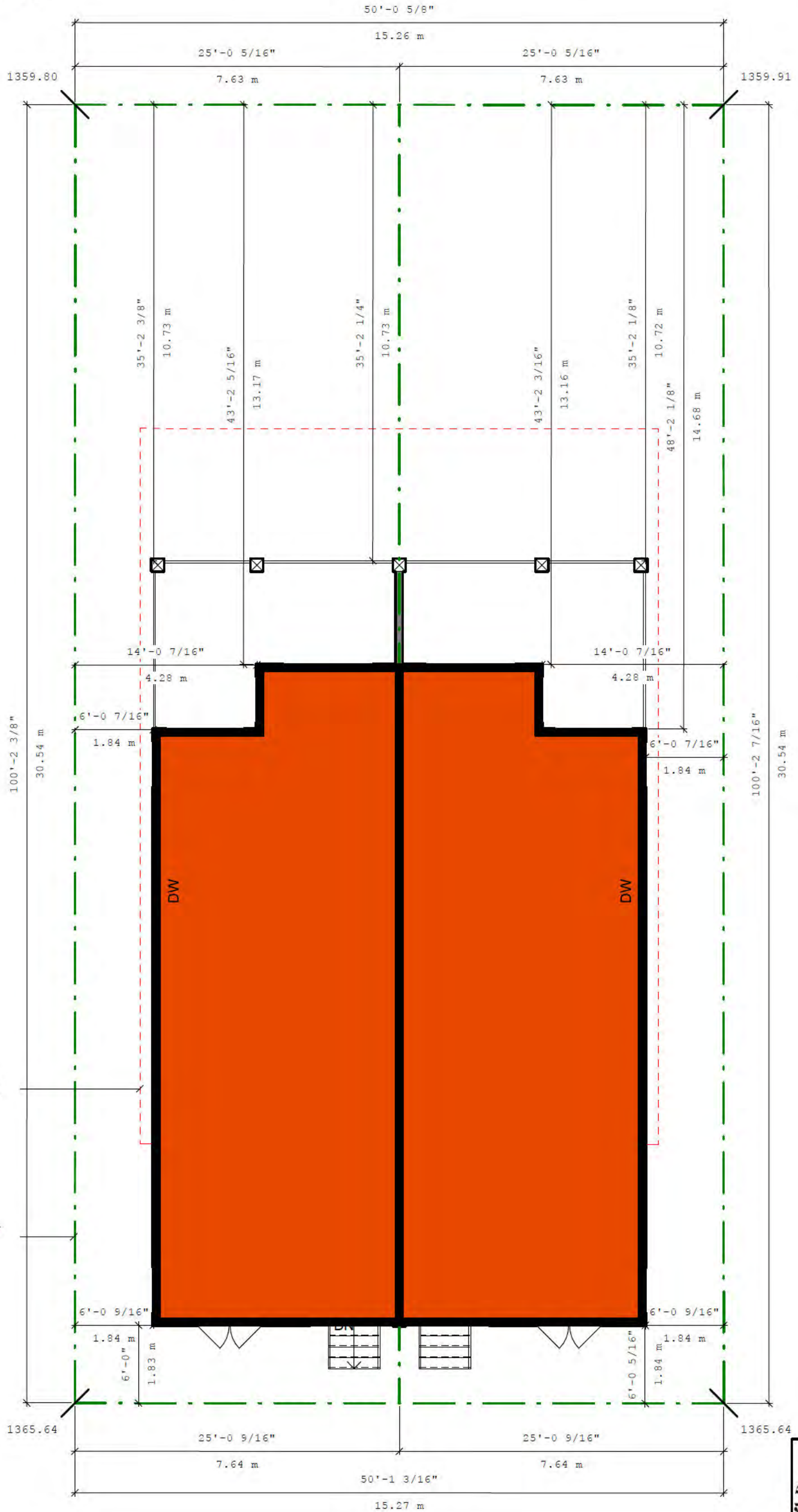
H17



H18

LOT 14 BLOCK 19 PLAN 232 A.I.  
 LOT COVERAGE  
 LOT AREA: 466.15 SQ.M. APPROX.  
 BUILDING COVERAGE: 208.28 SQ.M.  
 APPROX.  
 (%) COVERAGE: 44.68%  
 LOWEST BOF: XXXm  
 SANITARY LINE: XXXm

NOTES:  
 1) ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED AS STATED IN THE LATEST EDITION OF XXXX STANDARD CONSTRUCTION SPECIFICATIONS  
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H19

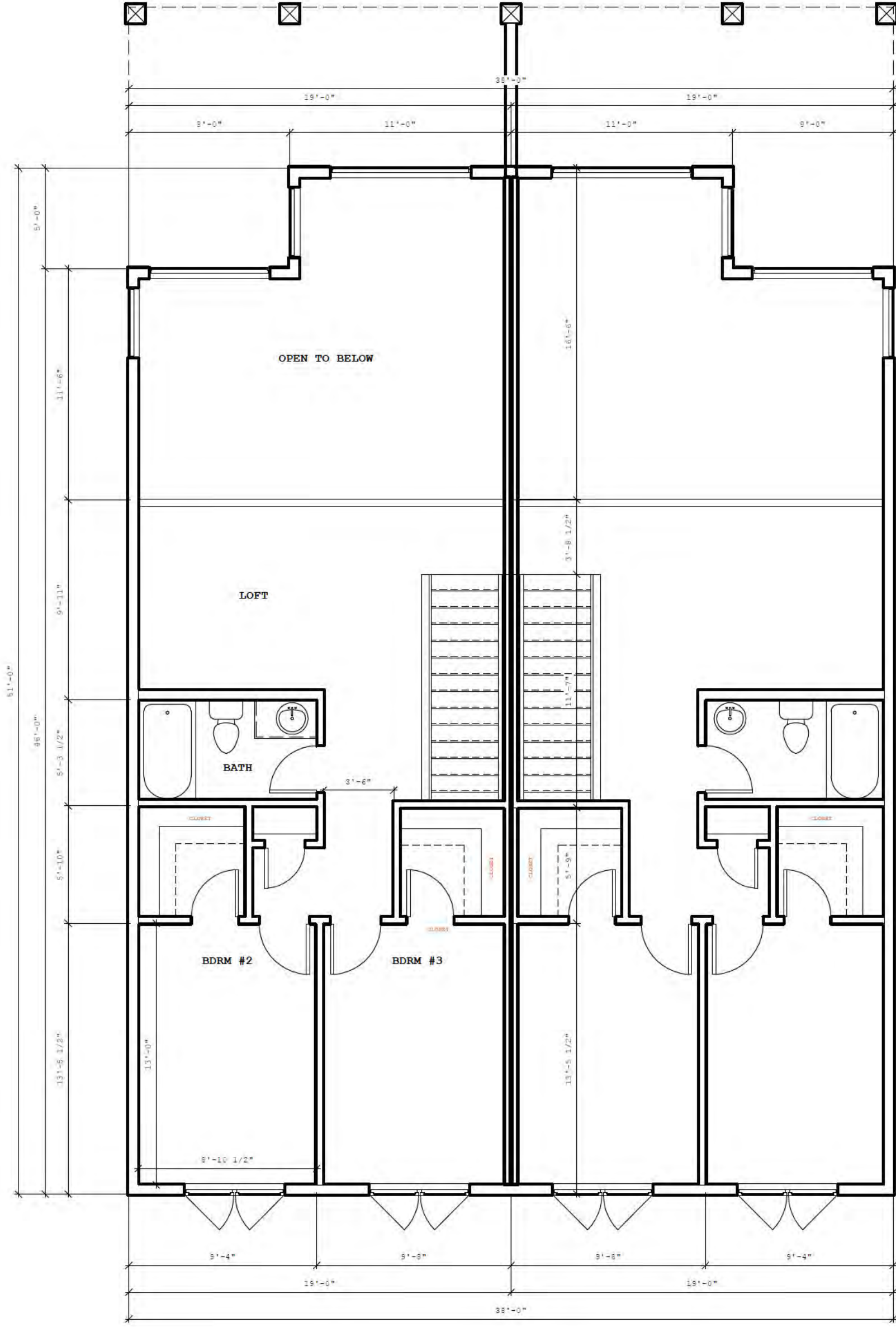
22ND AVE

CUSTOMER:	STARBRIGHT	PHASE:	BLACKLINES	MAIN FLR Sq.Ft.:	887	FUTURE FIN. BSMT:	749	FRONT PORCH:	42	ADDRESS:	6514 22 AVE
TYPE:	DUPLEX	DRAWN BY:	GRO	2ND FLR Sq.Ft.:	887	UNFINISHED BSMT:	138	DECK:	192		
DATE:	2026 02 20	RENDITION:	#4	TOTAL Sq.Ft.:	1774	GARAGE Sq.Ft.:	XXX	JOB #:	XX-XXX	PAGE:	2/10





H21



CUSTOMER:	STARBRIGHT	PHASE:	BLACKLINES	MAIN FLR Sq.Ft.:	887	FUTURE FIN. BSMT:	749	FRONT PORCH:	42	ADDRESS:
TYPE:	DUPLEX	DRAWN BY:	GRO	2ND FLR Sq.Ft.:	887	UNFINISHED BSMT:	138	DECK:	192	6514 22 AVE
DATE:	2026 02 20	RENDITION:	#4	TOTAL Sq.Ft.:	1774	GARAGE Sq.Ft.:	XXX	JOB #:	XX-XXX	PAGE:
										5/10



ALAN PARCZAS  
OWNER &  
DESIGNER



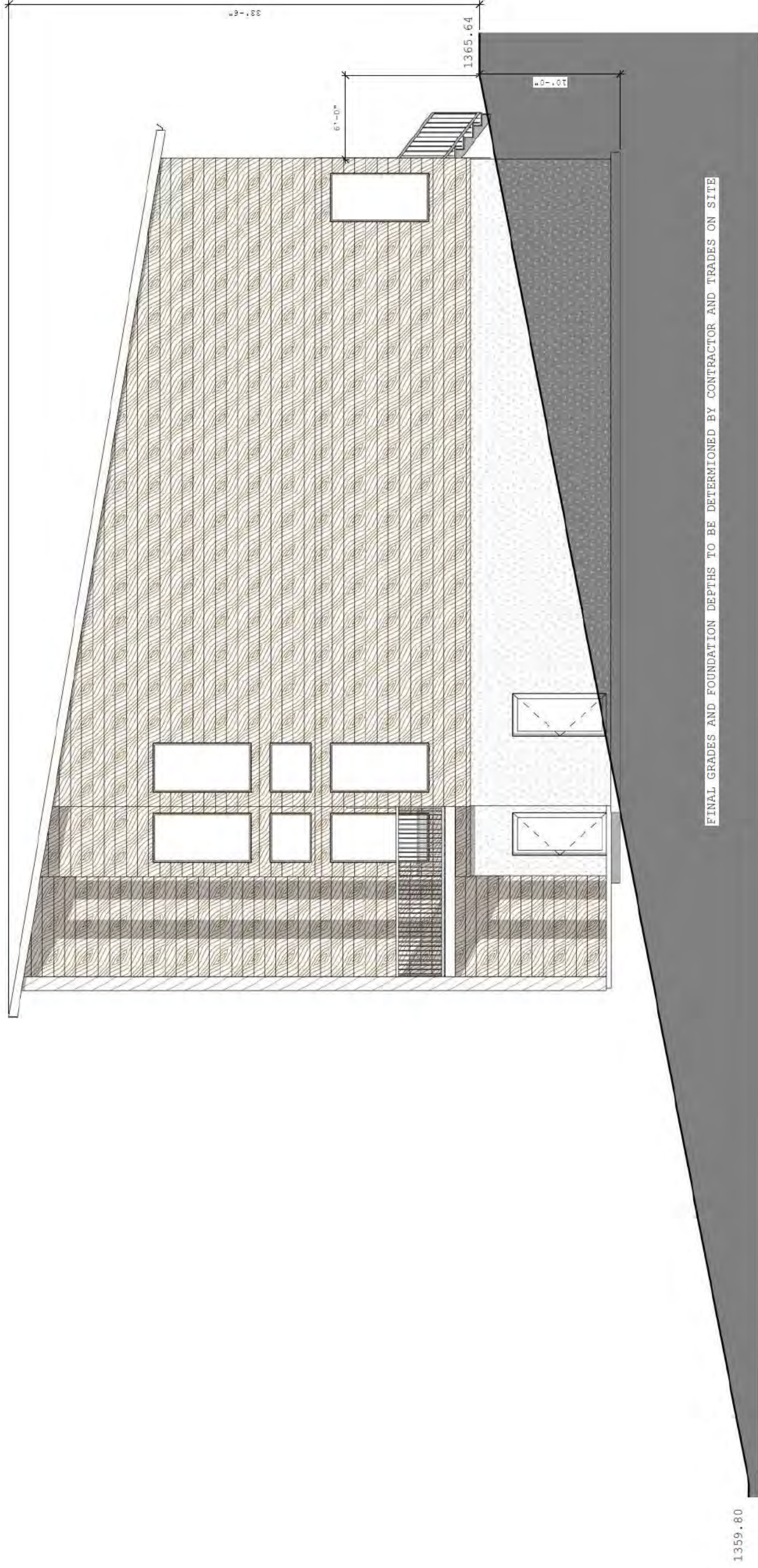
ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO LOCAL AUTHORITY HAVING JURISDICTION ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET BUILDING CODE

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TYPE:	DUPLEX	DRAWN BY:	GRO	2ND FLR Sq.Ft.:	887	UNFINISHED BSMT:	138	DECK:	192		
DATE:	2026 02 20	RENDITION:	#4	TOTAL Sq.Ft.:	1774	GARAGE Sq.Ft.:	XXX	JOB #:	XX-XXX	PAGE:	7/10

H22



H23



ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO LOCAL AUTHORITY HAVING JURISDICTION ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET BUILDING CODE

CUSTOMER:	STARBRIGHT	PHASE:	BLACKLINES	MAIN FLR Sq.Ft.:	887	FUTURE FIN. BSMT:	749	FRONT PORCH:	42	ADDRESS:
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Municipality of Crowsnest Pass  
Municipal Planning Commission  
Request for Decision

Meeting Date	April 22, 2026
Application No.	DP2026-028
Roll No.	1148600
Civic Address	6510 22 <sup>nd</sup> Avenue, Coleman
Legal Address	Lot 13 Block 19 Plan 232A1
Land Use District	Residential R-1
Overlay District	N/A

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## Proposed Development

For a “Duplex / Semi- Detached Dwelling” (discretionary use) with a 2% variance to the maximum height and a 70% variance to the front yard setback.

### Background

- The parcel is vacant with a single service connection.

### Discussion

- A “Duplex / Semi- Detached Dwelling” is a discretionary use within the Residential R-1 land use district. The requested variance to the front yard setback exceeds 50%. For these reasons, the application requires MPC review.
- The applicant intends to subdivide the parcel, proposing a single duplex unit (half duplex) on each certificate of title. If the subdivision is refused, the duplex (both units) will remain in a single certificate of title.
- Condition 4 requires that individual service connections be brought to the property line for each duplex unit, assuming that subdivision will be approved. The condition includes the alternative, i.e. one service connection for the single property with two duplex units on it (if subdivision is unsuccessful).
- A minimum 4.27m boulevard is available at the northeast corner of the property, which gradually increases toward the west.
- To accommodate a parking stall with a depth of 6.1m, the dwelling must maintain a minimum front yard setback of 1.83m as proposed.
- Should a sidewalk be constructed in the future, an additional 1.4m setback would be required, increasing the total front yard setback to 3.23m. However, the Municipality’s Transportation Manager has indicated that a future sidewalk along 22 Avenue is unlikely; therefore, the Development Office considers the 1.83m front yard setback to be acceptable.
- Schedule 6 Section 1.4, grants the Development Authority on a case-by-case basis to allow for that portion of a private driveway that is wholly or partially located on / encroaching within the

public boulevard portion of an urban street, on the condition that a vehicle parked in a driveway shall not overhang a public street curb, shall not overhang any portion of the driving surface of a public street, and shall not obstruct a public sidewalk.

- The proposed dwelling appears to be located on a slope greater than 16%. Therefore, pursuant to Schedule 4, Section 17.2, and as outlined in Condition 4, the applicant shall, prior to development permit issuance, submit a slope stability assessment with recommendations for foundation design and site grading. The assessment must be prepared, stamped, and permitted by a Professional Engineer, demonstrating the viability and safety of the proposed development.
- The proposed development is the same structure as the proposed development on the adjacent Lot 14 in a mature neighbourhood (which is the subject of DP2026-025 elsewhere on the MPC agenda). The MPC has the authority to require additional standards subject to Quality and Design of Development under Schedule 4, section 22. Streetview photos attached.

*22.1 In addition to the standards established in this Bylaw, the Development Authority may require additional standards as a condition of a development permit, in order to improve the quality of any proposed development such as, but not limited to, hard-surfaced parking areas, exterior finishes to buildings, landscaping, yard setbacks, slope-adaptive building and site design considerations, and the impact on existing development in mature neighbourhoods or areas of historic significance.*

*22.2 Development shall comply with the following standards:*

- a) The design, character and appearance of buildings, signs and properties shall be consistent with the intent of the land use district in which the building, sign or property is located and compatible with other buildings, signs and properties in the same district in the vicinity.*
- b) The Development Authority may regulate the exterior finish of buildings or signs to improve the quality of any proposed development within any land use district.*
- c) The Development Authority may require that the appearance of walls exposed to public view from beyond the site be improved where, in its opinion, the appearance of such walls is incompatible with the finishing standards of surrounding developments.*
- d) The maximum allowable height above the average finished surface level of the surrounding ground of the exposed portion of a concrete or block foundation may be limited by the Development Authority.*
- e) If a building is to be located on a lot with more than one street frontage or on a lot with potential for further subdivision, the Development Authority may regulate the orientation and location of the building as a condition of development approval.*

### **Notification**

In accordance with Administration Section 20 of the LUB, notification to the Applicant and affected landowners will occur by regular mail and/or a newspaper advertisement after the MPC has decided upon the application. Affected parties will have 21 days from the date of the notification to appeal the decision.

### **Appeal Jurisdiction**

The Subdivision and Development Appeal Board has jurisdiction to hear an appeal of the Development Authority's decision on this development permit.

## Alternatives

A. Approve the development permit application for DP2026-025, subject to the following conditions:

1. The Development Permit approved in this Notice of Decision shall not be issued and shall be of no effect, and construction / placement of the development shall not commence, until all “Prior to Issuance Conditions” stated in this Notice of Decision have been met or fulfilled.
2. This Notice of Decision shall remain effective for a period of six (6) months and shall then expire and be deemed null and void unless the applicant or landowner (proponent of the proposed development) to whom the Notice of Decision was issued continues to collaborate with the Development Authority to satisfy or complete the “Prior to Issuance Conditions” and, if required, an extension is approved by the Development Authority.

**Prior to Issuance Conditions** (these conditions are to be satisfied prior to issuance of a development permit and will only form part of the Notice of Decision and not part of the formal development permit issued however, the development permit shall be of no effect until these conditions have been satisfied)

3. An appeal period of twenty-one (21) days from the date of the Development Authority’s Notice of Decision applies, and if any appeals are submitted the development permit shall not be issued until such appeals are dealt with by the Subdivision and Development Appeal Board or the Land and Property Rights Tribunal, as may be applicable.
4. The applicant / landowner shall provide a slope stability assessment with recommendations for foundation design and site grading, stamped and permitted by a professional engineer demonstrating the viability and safety of the proposed development pursuant to Schedule 4, section 17.2.

**Time Specific Conditions After Issuance** (deadline for enforcement or for the validity of the development permit)

5. Pursuant to Schedule 4, section 21.5 in the Land Use Bylaw, the property shall be serviced with a single water and wastewater service connection, except as required in par. 5a):
  - a) If, a subdivision has been approved **and registered at the Land Titles Office**, whereby the subject property is subdivided into two certificates of title for each of the half duplex units, then the landowner / applicant shall enter into a service connection agreement with the Municipality to bring a water and wastewater service connection to the property line of each titled parcel, stubbed from the existing water and wastewater mains in 22Ave, at no cost to the Municipality.
6. The applicant or landowner shall commence the approved development and carry it out with reasonable diligence, in the opinion of the Development Officer, within 12 months from the date of issuance of the development permit and / or within the specific timelines and by the specific deadlines stated in this development permit, otherwise the permit shall be deemed to be null and void (for this purpose, “commence” may include applying for a building permit under the Safety Codes Act).
7. When a development permit involves construction, the applicant or landowner shall complete exterior work to the Development Officer’s satisfaction within 36 months after the date of the issuance of the development permit (regardless of the date of issuance of a building permit under the safety Codes Act or the date of the start of construction) and / or within the specific timelines

and by the specific deadlines stated in this development permit, otherwise the applicant or landowner shall be deemed to be in contravention of the development permit conditions.

8. The landowner or applicant shall confirm permitting requirements for the proposed building / structure with the discipline specific Safety Codes Officer, and shall provide to the Development Officer copies of Safety Codes permit applications (Building, Electrical, Gas, Plumbing, Private Sewage Disposal System) when the same are made or copies of Safety Codes permits issued immediately upon issuance to demonstrate that such applications or permits are consistent with the development permit issued for the proposed development.

**Conditions of a Continuing Nature (Permanent Conditions)**

9. The applicant or landowner shall ensure that the development complies with and is carried out and completed in its entirety in conformance with the attached approved site plan and the development standards in the Land Use Bylaw 1165, 2023 (except as approved by variance in the table below). Failure to conform to the approved site plan without an approved amendment may result in enforcement measures pursuant to the Municipal Government Act and the Land Use Bylaw:

Duplex / Semi-Detached Dwelling	Standard	Proposed	Variance
Front Yard Setback	6.1m	1.83m	70% (4.27m)
Rear Yard Setback	7.6m	10.73m	N/A
Side Yard Setback (East)	1.5m	1.83m	N/A
Side Yard Setback (West)	1.5m	1.83m	N/A
Maximum Height – two storey walkout basement	13m	13.3m	2% 0.3m
Maximum Lot Coverage on one certificate of title (lot area 466.08m <sup>2</sup> )	45% (209.74m <sup>2</sup> )	45% (208.29m <sup>2</sup> )	N/A
Off-street Parking	2 Parking Stalls / Unit = 4	2 stalls / unit = 4	N/A

10. The Developer and/or the Landowner shall ensure that any changes to the lot grading maintains positive drainage directing the flow of all surface stormwater away from building foundations towards adjacent streets and lanes without adversely affecting (e.g. erosion, flooding) adjacent properties, roads, lanes, public property, or public infrastructure, including where applicable in such a manner that the post-development rate and volume of surface stormwater drainage from the subject property do not exceed the pre-development rate and volume of surface stormwater drainage. Should retaining walls be required as part of the stormwater drainage system, additional development permits are required, and construction shall be completed by the landowner at no cost to the municipality.
11. The Land Use Bylaw 1165, 2023, as amended, contains development standards and regulations that apply to this development permit and for which the landowner is responsible to comply with, at no cost to the Municipality of Crowsnest Pass. These regulations address matters relating to many aspects of the approved development or use e.g., access to the property, lines of sight, public safety setbacks, parking requirements, lot grading, maintaining positive drainage towards abutting roads and/or lanes, outdoor storage, etc. It is the Landowner’s and/or Applicant’s responsibility to ensure that they are fully aware of and comply with all the applicable development standards and regulations in the Land Use Bylaw that may apply to the proposed development or use. Please contact the Municipality’s Department of Development, Engineering & Operations for assistance if required.

12. When construction is involved for a development approved under this development permit, the landowner and/or the applicant to whom this development permit was issued and their successors in title, are responsible to, and shall ensure that the location of the building(s) relative to the subject property boundaries (i.e. approved yard setbacks, including variances if any), as approved in the attached site plan, and relative to easements on the subject property, is staked out by either an Alberta Land Surveyor, a professional engineer (see definition), or another certified agent, prior to the pouring of building foundations. At any time during or after construction, the Development Officer may require that the landowner of the subject property provide the stake-out, a survey and/or a survey drawing (or a Real Property Report) of the subject property and/or the building footprint relative to the subject property boundaries and easements, at no cost to the Municipality.
13. This development permit approves only the development contained herein, and a further application is required for any changes or additions.
14. Failure to comply with any one or more of the conditions listed in this development permit either by a specified deadline or at any time throughout the lifetime of the development permit, as may be applicable, or implementation of the development contrary to the approved site plan and/or approved variances, shall result in enforcement through a Stop Order and corresponding fees, rates, charges, or fines pursuant to the Municipality's Fees, Rates and Charges Bylaw in effect at the time of the non-compliance.

**Important Information & Notes:**

- a) The review or approval of a development permit application does not include matters that are regulated by other authorities, for example but not limited to a building permit (Safety Codes Act, s. 66), community health standards, wildlife species at risk, or approvals required from Alberta Environment and Protected Areas or the federal Department of Fisheries and Oceans. Therefore, the Municipality of Crowsnest Pass and/or its Development Authority do not conduct or require independent environmental checks or other investigations or assessments of private land [for example, but not limited to, matters regarding species at risk, migratory birds, birds of prey, bear dens, or other wildlife, or underground mines, or the presence or absence of any environmental contaminants (except, regarding the latter, requiring an environmental study for a setback distance variance pursuant to the Matters Related to Subdivision and Development Regulation AR 84/2022, and except studies and assessments as may be required pursuant to the Land Use Bylaw, e.g. a slope stability assessment)]. If the landowner, the development permit applicant, or an adjacent landowner or other affected party is concerned about any such matters, they should conduct their own tests and reviews. When issuing a development permit, the Municipality of Crowsnest Pass and/or its Development Authority approve a proposed development only for land use planning purposes, and do not make representations and do not offer warranties as to the suitability or otherwise of the subject property for any purpose.
- b) By accepting the development permit issued herein, or issued subsequent to an appeal decision, and by acting to implement the development approved within this development permit, the landowner and applicant indemnifies and holds harmless the Municipality of Crowsnest Pass, its Development Authority, and its employees and agents from any and all claims, demands, actions, and costs whatsoever that may arise, directly or indirectly, from anything done or omitted to be done in the construction, maintenance, alteration or operation of the works authorized in the development permit.
- c) It is the responsibility of the landowner, including successors in title, to comply with the conditions imposed on this development permit.
- d) The issuance of a Development Permit indicates only that the development to which the Development Permit relates is authorized in accordance with the provisions of the Municipality of Crowsnest Pass Land Use Bylaw and does not in any way relieve or excuse the Landowner and/or the Development Permit holder from obtaining any other permit (including authorization to modify a wetland, safety codes permits e.g. building, electrical, gas, plumbing, Historical Resources Act approval, Highways Development and Protection Act, etc.), license, or other authorization required by any Federal or Provincial Act or regulation, or under any Bylaw of the Municipality (e.g. a business license), or complying with the conditions of any easement, covenant, agreement, or other instrument affecting the building or land. The Landowner and/or the Applicant is responsible to ensure compliance with these matters, at the sole risk and responsibility of the Applicant/property owner to the exoneration of the Municipality of Crowsnest Pass from any liability related to these matters, and at no cost to the Municipality of Crowsnest Pass. The applicable requirements may include the following:

- (i) An application under the Historical Resources Act via the Online Permitting and Clearance (OPaC) process (<https://www.alberta.ca/online-permitting-clearance>) to the Historic Resources Management Branch of Alberta Arts, Culture, and Status of Women, and compliance with any requirements, terms, and conditions of such clearance.
- e) The Applicant/property owner is responsible for the following aspects as may be applicable to this development permit, at the sole risk and responsibility of the Applicant/property owner to the exoneration of the Municipality of Crowsnest Pass from any liability related to these matters, and at no cost to the Municipality of Crowsnest Pass:
- (i) Determining the legal property boundaries and any applicable easements through a survey by an Alberta Land Surveyor before foundations are excavated or poured and before construction proceeds above ground level.
  - (ii) Ensuring that any structures approved under this Development Permit are constructed such that they are correctly set back from the property boundaries in compliance with the front, rear, and side yard setbacks approved in this Development Permit. The landowner should consult an Alberta Land Surveyor for this purpose.
  - (iii) Ensuring that the development and the associated excavation and/or construction activity approved under this Development Permit shall not disturb, affect, or alter conditions of all utilities and appurtenances, drainage rights-of-way, utility rights-of-way, access rights-of-way, and any easements as they may exist, over, under, or through the Lands. The landowner should consult a professional engineer and/or an Alberta Land Surveyor and/or the relevant utility company / utility owner for this purpose.
  - (iv) Ensuring that the development and/or any associated structures and/or the associated excavation and/or construction activity approved under this Development Permit is undertaken in a manner that does not cause or result in a public safety risk or concern, or a nuisance, disturbance, or damage to adjacent properties and/or roads, lanes, or other municipal infrastructure. The landowner should consult a legal professional, a professional engineer and/or an Alberta Land Surveyor for this purpose.
  - (v) Ensuring that all equipment, waste bins, portable toilets, building materials, and excavation stockpiles associated with construction activity approved under this development permit are placed within the subject property boundaries, and that where such items must encroach onto adjacent private property and/or adjacent boulevards, sidewalks, streets and /or lanes, that the adjacent landowner's consent has been obtained and/or that the Municipality has authorized such encroachment through a hoarding permit under the Traffic Bylaw (please contact the Manager of Transportation or a Community Peace Officer).
  - (vi) Making suitable arrangements with utility companies for the provision of all services and/or necessary easements for utility rights-of-way.
  - (vii) Notifying Utility Safety Partners (Alberta 1st Call) at <https://utilitysafety.ca/wheres-the-line/submit-a-locate-request/> or 1-800-242-3447 to arrange for field location of buried utilities prior to excavation for the proposed development.
  - (viii) Ensuring that permanent structures are located outside the 1:100-year flood plain of any water body. The landowner should consult a wetland assessment practitioner and/or an Alberta Land Surveyor for this purpose.
  - (ix) Ensuring that construction activity approved under this Development Permit does not result in the modification of a wetland without provincial approval. The landowner should consult a wetland assessment practitioner for this purpose.
  - (x) Ensuring that foundation and drainage systems on a property with an effective grade / slope of greater than 15% are designed in accordance with the recommendations in a slope stability assessment and/or a grading plan / stormwater management plan, as may be applicable, prepared by a professional engineer, and that the same are constructed under the supervision of a professional engineer, to protect the bank from erosion and to ensure slope stability.
  - (xi) Ensuring that a 2-meter separation is provided between the water table and footings for the buildings. The landowner should consult a professional engineer for this purpose.
  - (xii) Ensuring that sub-surface conditions are suitable for the proposed construction and, where necessary, that foundations have been designed by a professional engineer.
  - (xiii) Ensuring that the property is graded in such a manner that positive drainage directing the flow of all surface stormwater away from building foundations towards adjacent streets and lanes is maintained without adversely affecting (e.g. erosion, flooding) adjacent properties, roads, lanes, public property, or public infrastructure, including where applicable in such a manner that the post-development rate and volume of surface stormwater drainage from the subject property do not exceed the pre-development rate and volume of surface stormwater drainage. Should retaining walls be required as part of the stormwater drainage system, additional development permits are required, and construction shall be completed by the landowner at no cost to the municipality. Where an approved grading plan or stormwater management plan exists, the property must be graded (finished grade) in accordance with the grading plan or

stormwater management plan. The landowner should consult a professional engineer and an Alberta Land Surveyor for this purpose.

(xiv) Being aware of FireSmart Regulations including the Municipality's FireSmart Bylaw and Safety Codes Permit Bylaw as may be applicable.

(xv) This document does not provide permission to commence a use, start construction or occupy a building (as may be applicable) until all prior to issuance conditions have been satisfied to the Development Authority's satisfaction, and any applicable appeal period has expired. It is the owner's responsibility to ensure that all development permit conditions have been satisfied, and other applicable permits are applied for and issued before commencing a use, start construction, or occupy a building, and that construction is inspected and permits closed, before occupancy. It is the responsibility of the owner or owner's agent to make an application to the Municipality for an Occupancy and Completion Certificate prior to taking occupancy.

f) As part of the development permit review the Development Officer considered the following items checked in the table below, and relevant conditions were imposed on the development permit as deemed applicable:

Lot (m <sup>2</sup> )	465.88	Provincial Historic Resource Value (Archaeology)	4a
Abandoned Gas Wells	N/A	Abandoned Coal Mines	N/A
Transportation & Economic Corridor (direct access or structure within 40 m of Hwy 3 / 40)	N/A	Provincial Historic Designation	N/A
Hydrography through parcel	N/A	Historic Commercial Areas Overlay District	N/A
High Pressure Gas Main Preferred Referral (Yes – Send Notice)	N/A	Municipal Historic Resource Designation / MCNP Heritage Inventory	N/A
Contours – Steep Grade	Yes	Historic Resource Designation by Bylaw	N/A
Area Structure Plan	N/A	Coleman National Historic Site	N/A
Cadastral – URW on parcel	N/A	Areas of Potential Environmental Concern Overlay District / Lagoon	N/A
Flood Hazard	N/A	Wetlands	N/A
Forestry Reserve	N/A	Miistakis	N/A

- OR -

B. Deny the development permit application, stating the reason for this decision.

#### Attachments


1. Location Maps
2. Contour and Road Centre line setback Map
3. Site Plan
4. Elevation
5. Streetview

#### Recommendation

The Development Office recommends that the Municipal Planning Commission approves DP2026-028 subject to the conditions in Alternative A.

#### Authorization

  
 \_\_\_\_\_  
 Katherine Mertz B.SC

  
 \_\_\_\_\_  
 Johan van der Bank, M.TRP, RPP

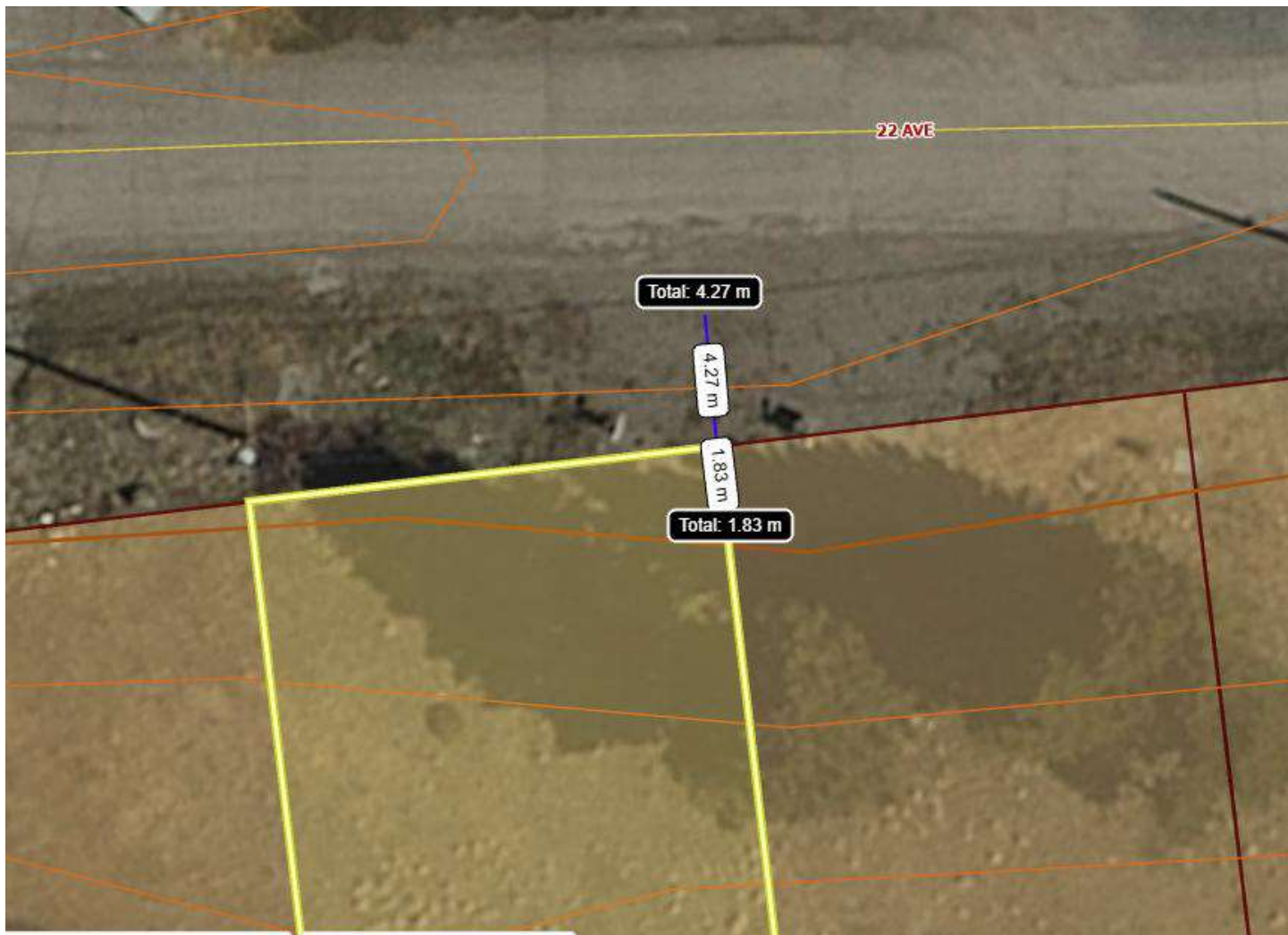
Development Officer

Manager Development & Trades

Lot 13 Block 19 Plan 232AI  
6510 22 Avenue, Coleman



H33



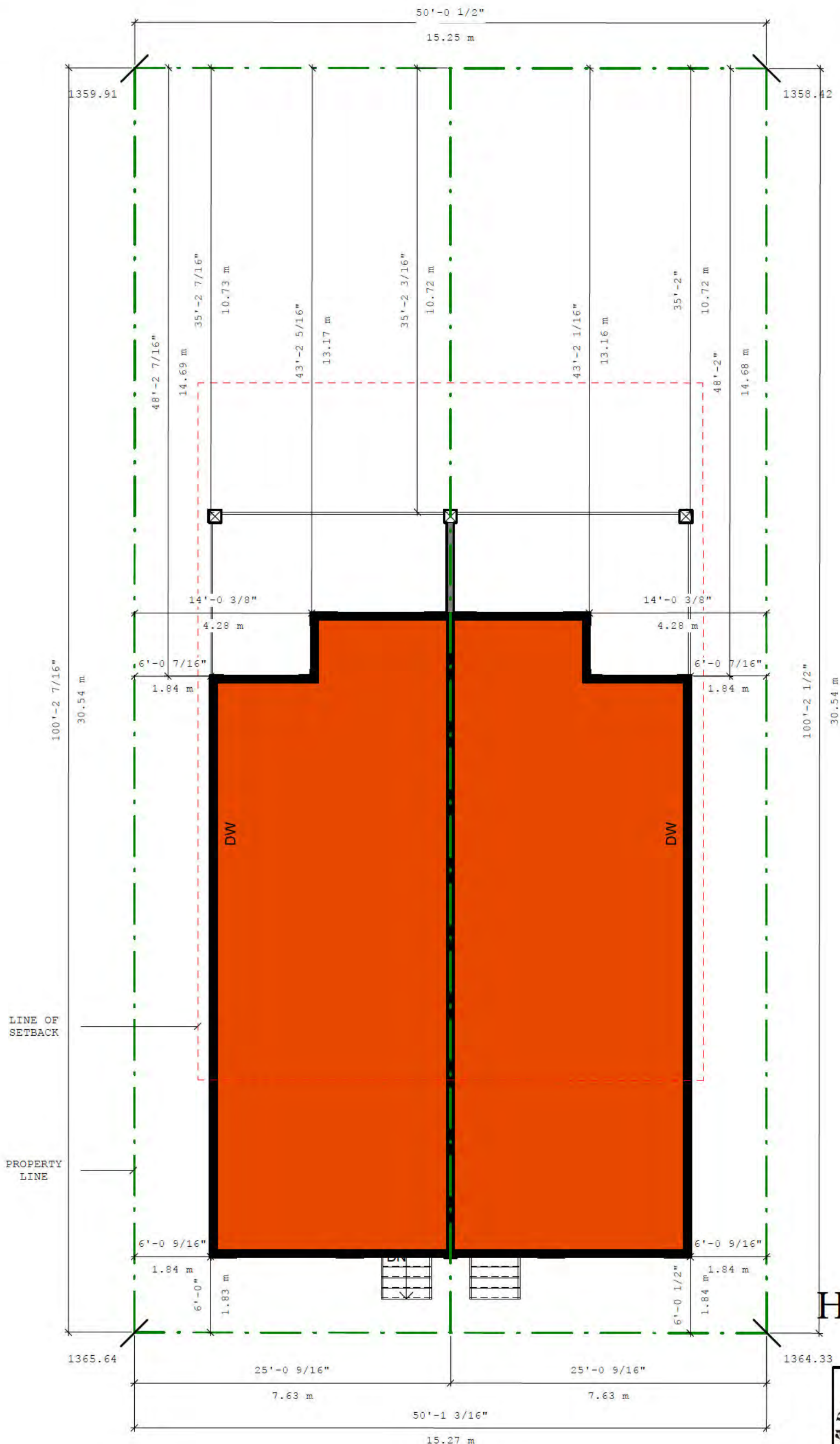
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H35

LOT 13 BLOCK 19 PLAN 232 A.I.  
 LOT COVERAGE  
 LOT AREA: 466.11 SQ.M. APPROX.  
 BUILDING COVERAGE: 208.28 SQ.M.  
 APPROX.  
 (%) COVERAGE: 44.68%  
 LOWEST BOF: XXXm  
 SANITARY LINE: XXXm

NOTES:  
 1) ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED AS STATED IN THE LATEST EDITION OF XXXX STANDARD CONSTRUCTION SPECIFICATIONS  
 2) ALL GRASSED LANDSCAPING REQUIRED WITHIN THE PUBLIC RIGHT-OF-WAY IS TO BE COMPLETED WITH SOD



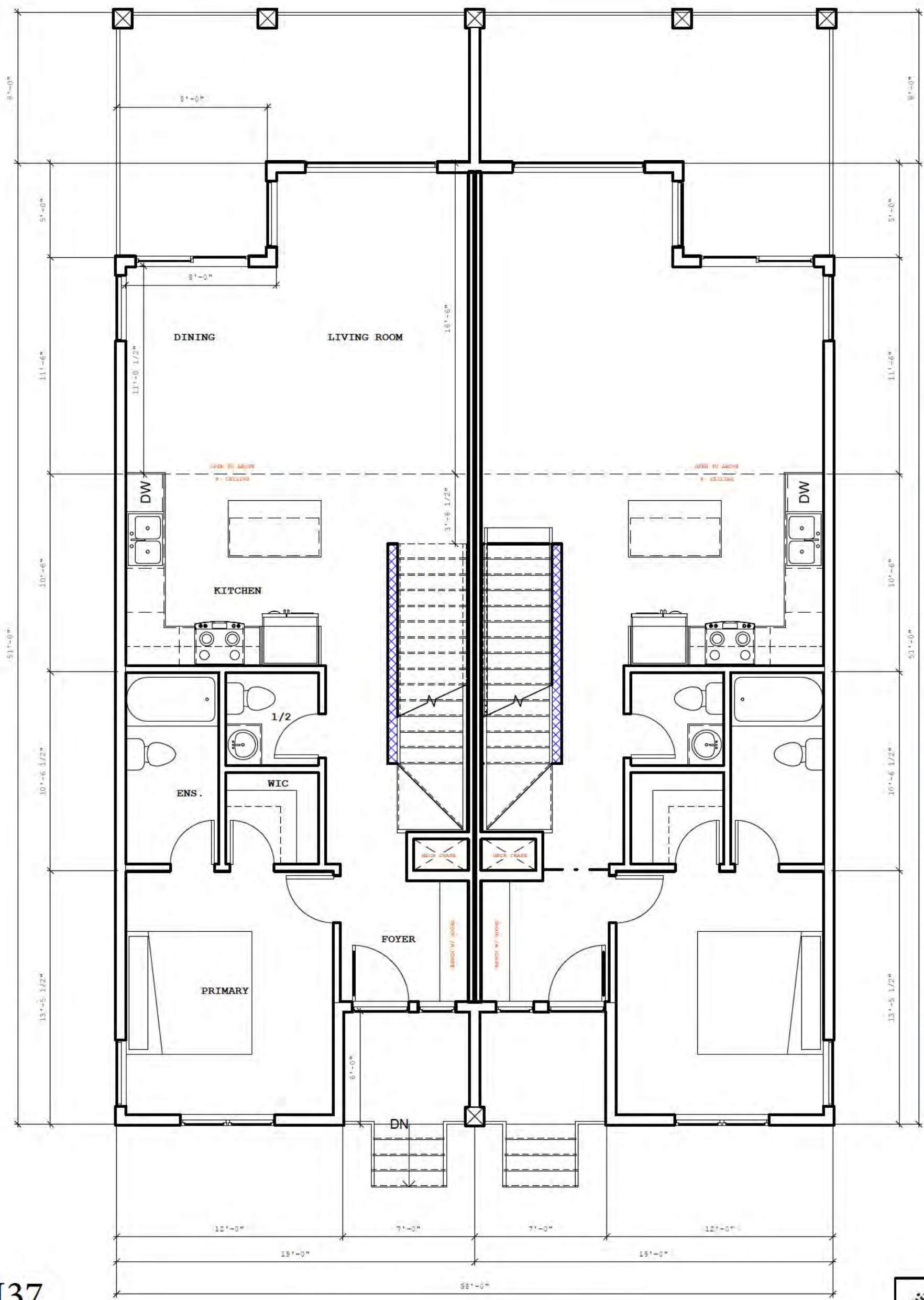
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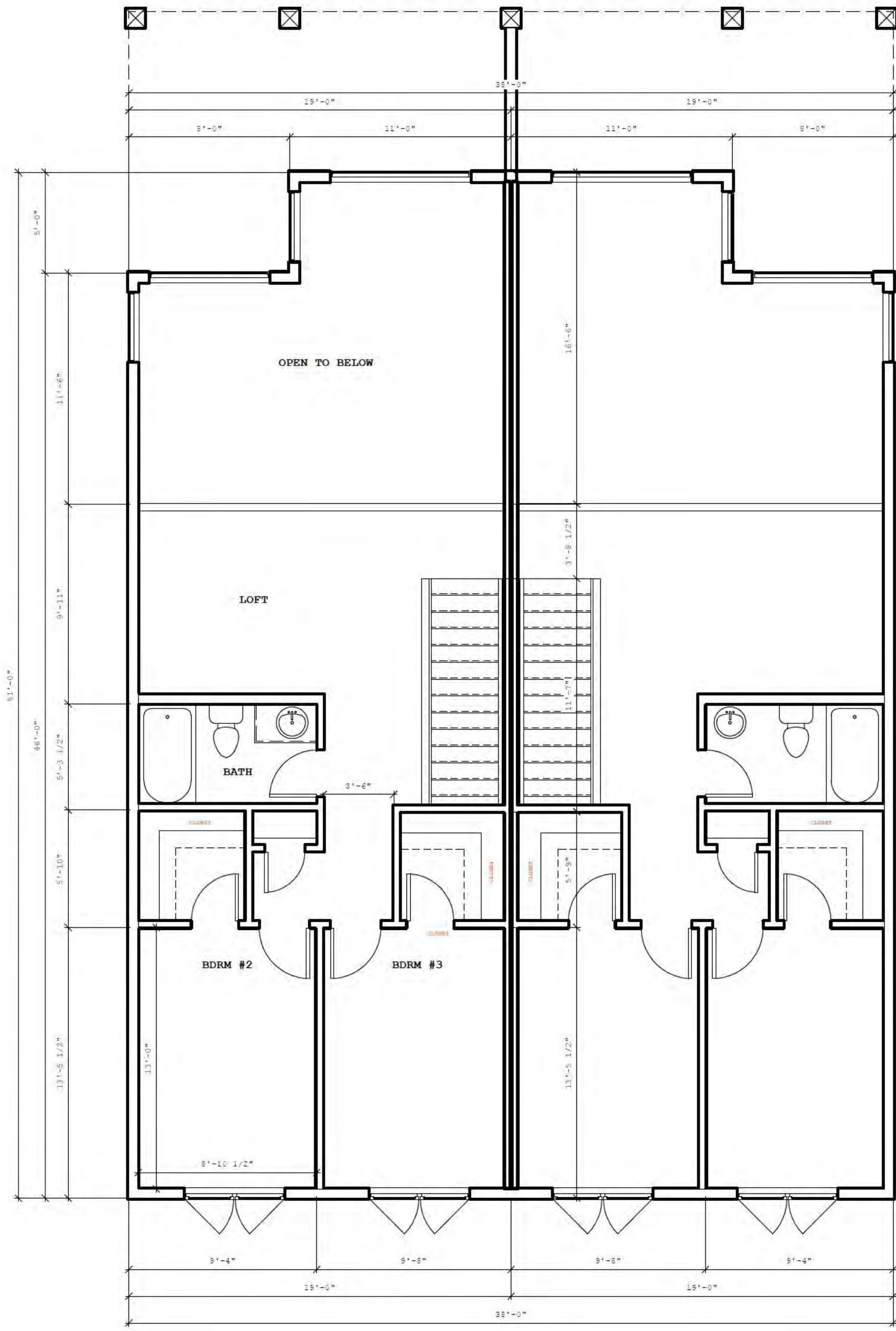


22ND AVE

H37



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H39

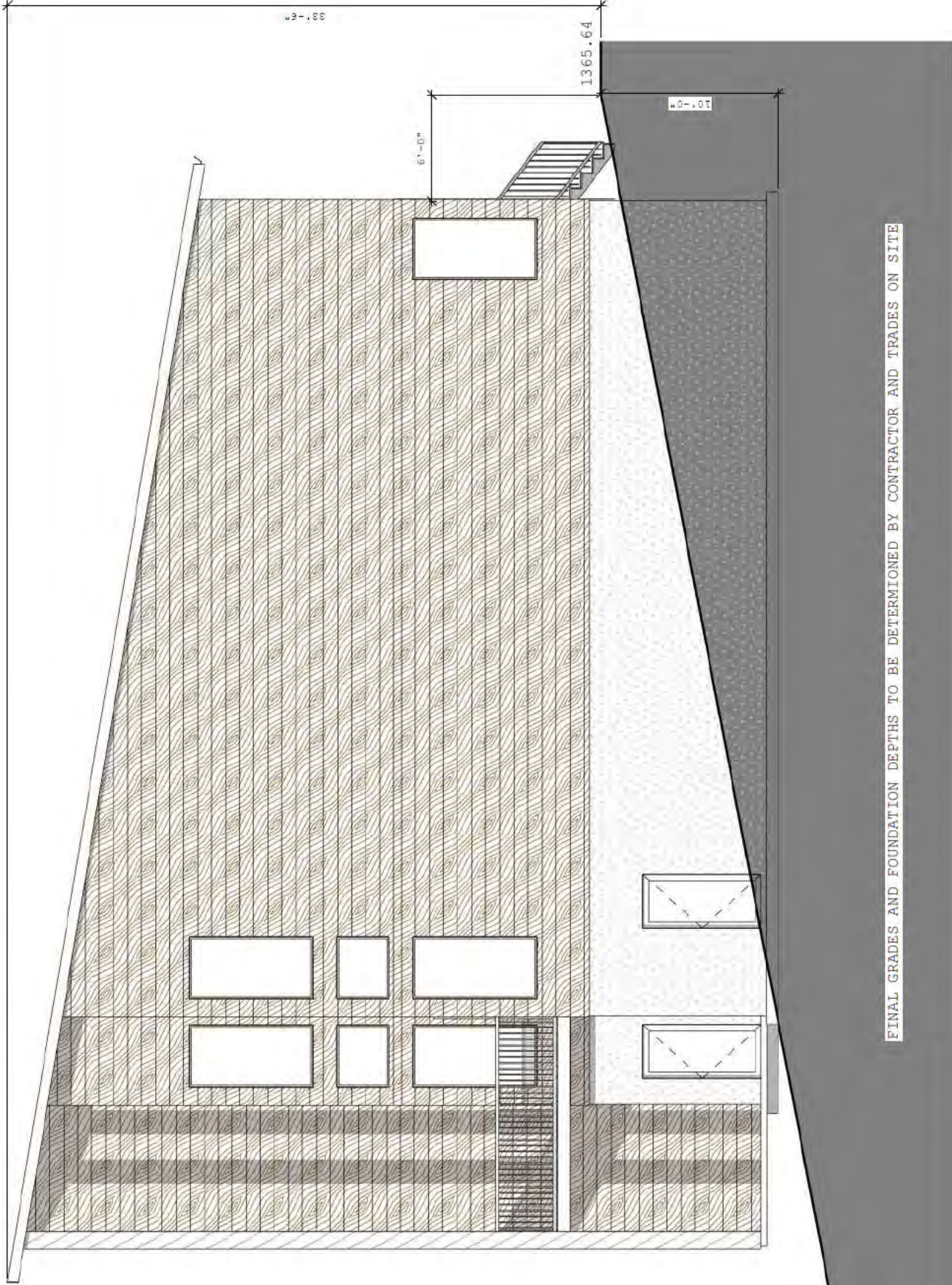


ALIN PAROZAS  
OWNER &  
DEVELOPER

ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS  
DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO LOCAL AUTHORITY HAVING JURISDICTION  
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1359.80

H40

ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO LOCAL AUTHORITY HAVING JURISDICTION ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET BUILDING CODE

CUSTOMER:	STARBRIGHT	PHASE:	BLACKLINES	MAIN FLR Sq.Ft.:	887	FUTURE FIN. BSMT:	749	FRONT PORCH:	42	ADDRESS:
TYPE:	DUPLEX	DRAWN BY:	GRO	2ND FLR Sq.Ft.:	887	UNFINISHED BSMT:	138	DECK:	192	6514 22 AVE
DATE:	2026 02 20	RENDITION:	#4	TOTAL Sq.Ft.:	1774	GARAGE Sq.Ft.:	XXX	JOB #:	XX-XXX	PAGE:
										8/10







**PROPOSED ROOF DUPLUEX STORMWATER  
DRAINAGE PLAN**

Revision 1

6514 22 Ave. Coleman AB

Attn: Derek Havens, Starbright Roofing Ltd.

RE: Municipality of Crowsnest Pass  
Development Permit 2026-025; Development Permit 2026-028



Report Prepared by: Noresca Inc.

Total Number of Pages Including Cover Page: 10

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Fernie, BC V0B 1M0  
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403.973.0899

**H42**



## **Summary**

Noresca Inc. (“Noresca”) was contracted by Mr. Derek Havens of Starbright Roofing Ltd. (the “Client” or “Contractor” ) to provide further details and provide comments regarding the drainage plan at the aforementioned address. Please see the Appendix for photos supplied to Noresca by others.

## **Background, Existing Conditions, Objective**

The scope of work involving Noresca is to review the proposed development and take the existing soil and sloping into consideration regarding the drainage from the proposed duplex development. As per the provided architectural drawings, the proposed duplex development appears to be subdivided.

Previously to this report, a report (*Re: Geotechnical Site Review Lots 11, 13 and 14, Block 19, Plan 232A1, 22 Avenue, Coleman, AB, dated April 23, 2023*) was also completed by Bruce Thurber, P. Eng., of BDT Engineering Ltd. Please see Appendix for reference to the report.

The objective of this report is to address the on-site drainage from the proposed duplex development and comment on the drainage.

## **Soil Conditions**

From Mr. Thurber’s report and from aerial images from Google Maps, the slope of the land falls from the north to the south. As per this report, the soil appears to allow water to freely drain through the soil. Further, the slope allows for drainage to the alleyway, south of the proposed development.



## **PROVISIONS**

### **Foundation Dampproofing and Weeping Tile**

It is advised to dampproof the foundation walls and to install a four inch (4") PVC perforated drain, wrapped with geotextile. The weeping tile is to be backfilled with drainable material over the 4" PVC-perforated pipe and adjacent to the building foundation. The drainage system is to be installed around the perimeter of the building, as per the most stringent building code requirements.

### **Rain Water Leader Surface Discharge Drainage Plan**

The proposed roof plan for the duplex slopes from south to north. It is advised to discharge to each side (east side and west side) of the duplex. The soil adjacent to the property shall be formed to create a high point in the grade on each east and west property boundary to allow the water to remain on the property.

The rain water leaders ("RWL's") may discharge to each side (east and west sides) of the house. However, the grade adjacent to the house must facilitate water flow away from the house.

### **Additional Grade Requirements**

Upon backfilling adjacent to the duplex, the existing soils are expected to be replaced provided the soils are the expected, well-draining composition.

Large format rock will be required to be placed at the point of discharge of the RWL's on grade. It is advised to place this at the low point between the house and property line on each respective side for a distance of 20 feet (6 metres) long down the hill and 3 feet in width (or



approximately 1 metre). The particles are to be of a larger size that will remain in place during a rain event.

Please see the Appendix for a sketch markup of the site plan and drawings supplied to Noresca.

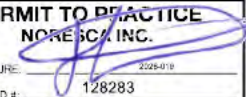
**CLOSING**

Noresca Inc. does not express or imply warranty. The data provided in this report must be used in context and in its entirety. Use of this report by a third party is the responsibility of that party and the third party accepts the responsibility for damages experienced based on the interpretation of this report. If there are questions or comments regarding information in this report that is subject to interpretation or if the existing soils vary from expectations, please contact Noresca Inc.

Best regards,



Per: Noresca Inc.  
ID: 128283

<b>PERMIT TO PRACTICE</b> <b>NORESCA INC.</b>	
RM SIGNATURE:	 2026-019
RM APEGA ID #:	128283
DATE:	2026-05-14
<b>PERMIT NUMBER: P014115</b> The Association of Professional Engineers and Geoscientists of Alberta (APEGA)	

H45

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## APPENDIX

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# H46



*Figure 1 shows existing grade profile on the east side of property.*



*Figure 2 shows existing grade looking at east side of property, looking north/uphill.*

H47

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*Figure 3 shows alleyway sloping, west. Subject property on right side of photo.*



*Figure 4 shows west side of property. Stakes show perimeter of building*

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H48

# BDT Engineering Ltd.

phone: 403-331-0941

Email: thurberbruce@outlook.com

Bay G 1710 - 31<sup>st</sup> Street North, Lethbridge, AB  
T1H 5S1

April 25, 2023

Project No.: 2021-161

Star Bright Roofing Ltd.

Box 921

Blairmore, AB T0K 0E0

Re: Geotechnical Site Review

Lots 11, 13 and 14, Block 19, Plan 232A1, 22 Avenue, Coleman, AB

As requested, a representative of BDT Engineering Ltd. visited the above noted site on November 12, 2021 to observe site grades and bearing soils and to provide comment on the proposed development. The bearing soils at foundation level were anticipated to be a hard, cobble till, with some silt and sand or bedrock and the bearing capacity of these two strata will exceed 250 kPa. The cobble till or bedrock is suitable to support the anticipated house loads. It is noted that the slopes on the lot exceed 15%, however, the underlying soils include about one to two metres of till overlying bedrock. As such, there are no concerns with respect to slope stability issues with these lots or the soils beneath the residences. All foundations will need to extend below any fill soils to native gravel or bedrock. Drainage on the lots should be directed around each of homes when constructed and flow away from the building envelope. Weeping tile is recommended at footing level, directing water away from each of the buildings.

We trust the above meets with your present requirements should you have questions please contact the undersigned at 403-331-0941.

Respectfully Submitted,



H49

Bruce Thurber, P.Eng.

BDT Engineering Ltd.

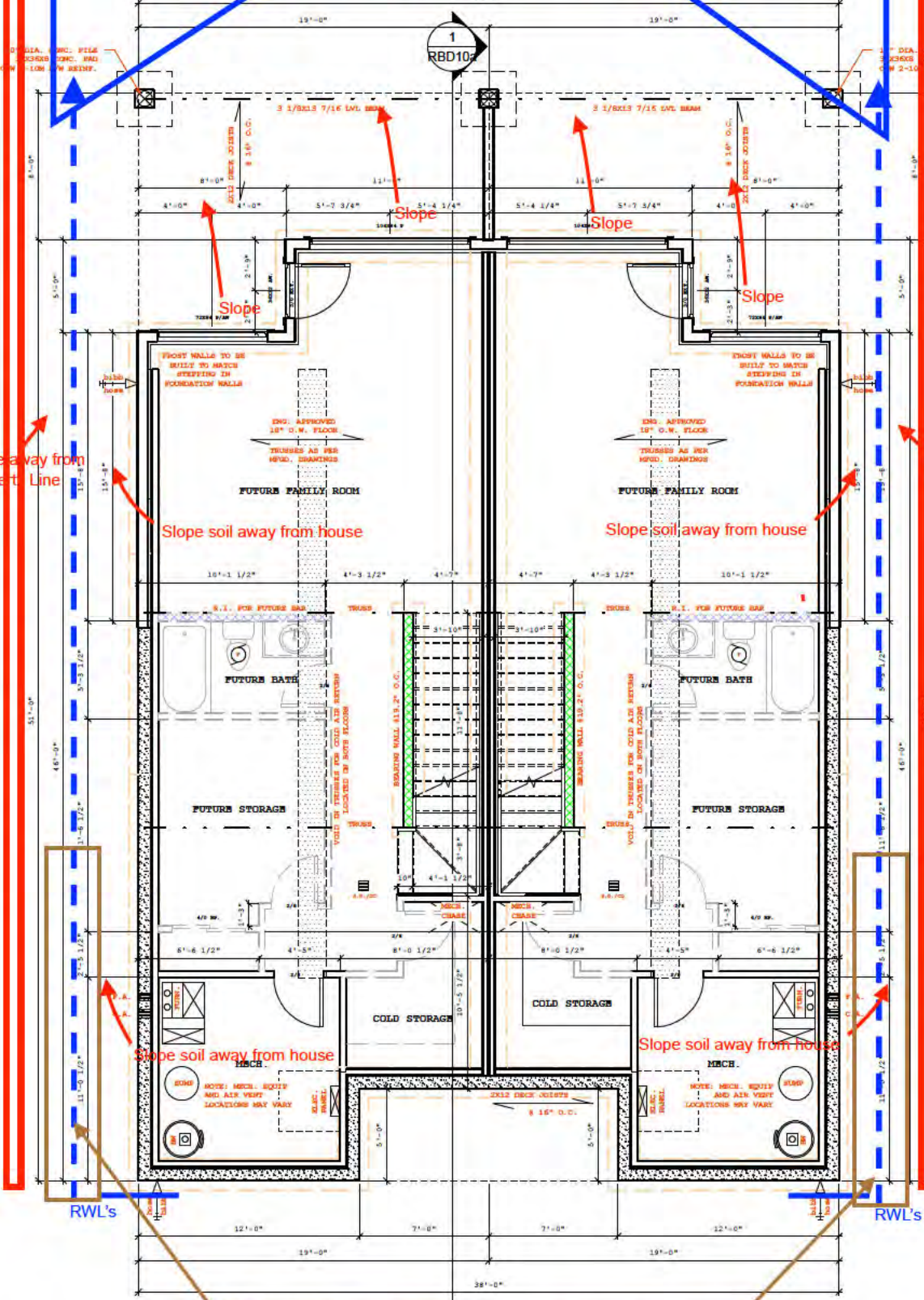
P - 13556



Shape soil into swale to create a high point and control runoff from flowing to neighbouring properties

Triangular expected to facilitate permeation into soil and dissipation of rainwater

- NOTE: BASEMENT
1. ALL WINDOWS TO BE AT 5'-0" HEAD UNLESS OTHERWISE NOTED
  2. WALLS OVER 12'-0" HEAD TO BE SPECIFIC ENGINEERING.
  3. 10" CHILLERS UNLESS NOTED OTHERWISE
  4. 200# CONCRETE FOOTINGS
  5. FRONT WALLS TO BE BUILT TO MATCH STEPS IN FOUNDATION WALLS
  6. LOAD BEARING WALLS STUDS AT 19.2" O.C. TO MATCH FLOOR TRUSSES ABOVE. OR 20"x20" PILING.
  - 7.



Slope away from Property Line

Slope soil away from house

Slope soil away from house

Slope soil away from house

Slope soil away from house

Slope away from Property Line

H51

① Basement Floor Layout  
3/16" = 1'-0"

CUSTOMER:	STARBRIGHT	PHASE:	CON. SET	MAIN FLR Sq.Ft.:	894	FUTURE FIN. BSMT:	638	FRONT PORCH:	35	ADDRESS:	6514 22 AVE
TYPE:	DUPEX	DRAWN BY:	GR0	2ND FLR Sq.Ft.:	656	UNFINISHED BSMT:	256	DECK:	192	JOB #:	26-023
DATE:	2026 04 10	REVISION:	#2	TOTAL Sq.Ft.:	1550	OPEN TO BELOW:	274	PAGE:	3/10		





## RESIDENTIAL – R-1

**PURPOSE:** *To provide for a residential environment with the development of predominantly Single-Detached Dwellings while providing opportunities for additional land uses.*

### 1. PERMITTED USES

- Accessory Building or Use up to 72.8 m<sup>2</sup> (784 ft<sup>2</sup>), not in the front yard of the principal building and/or not prior to the establishment of the principal building or use
- Day Home
- Exploratory Excavation / Grade Alteration / Stockpiling
- Home Occupation – Class 1
- Private Utility – except freestanding Solar Collector and freestanding Small Wind Energy Conversion System
- Secondary Suite, Attached (in a Single-Detached Dwelling)
- Sign – Types:
  - Home Occupation
  - Subdivision Entrance
  - Subdivision or Development Marketing
- Single-Detached Dwelling

### DISCRETIONARY USES

- Accessory Building or Use up to 72.8 m<sup>2</sup> (784 ft<sup>2</sup>) in the front yard of the principal building and/or prior to the establishment of the principal building or use
- Accessory Building or Use over 72.8 m<sup>2</sup> (784 ft<sup>2</sup>)
- Canvas Covered Structure
- Day Care Facility
- Duplex / Semi-Detached Dwelling
- Home Occupation – Class 2
- Manufactured Home
- Moved-In Building
- Moved-In Dwelling
- Private Utility – freestanding Solar Collector and freestanding Small Wind Energy Conversion System
- Secondary Suite, Detached (on the lot of a Single-Detached Dwelling)
- Short-Term Rental / Bed & Breakfast
- Tourist Home

### 2. MINIMUM LOT SIZE – see Schedule 4 section 16

Use	Width		Length		Area	
	m	ft	m	ft	m <sup>2</sup>	ft <sup>2</sup>
Single-Detached Dwelling	13.7	45	30.5	100	418.1	4,500
Duplex / Semi-Detached Dwelling (per building – i.e. for two units)	15.3	50	30.5	100	465.0	5,000
All other uses	As approved by the Subdivision Authority					
Corner lots	See Schedule 4					

### 3. MINIMUM PRINCIPAL BUILDING YARD SETBACKS

Use	Front Yard		Side Yard		Rear Yard	
	m	ft	m	ft	m	ft
All principal uses	6.1 to property line or 6.5 to back of existing or future public walkway or 7.5 to back of public curb	20 to property line or 21.33 to back of existing or future public walkway or 25 to back of public curb	1.5	5	7.6	25

**4. MINIMUM ACCESSORY BUILDING YARD SETBACKS**

Front Yard	–	the actual front yard setback of the principal building
Side Yard, where building does not contain a Secondary Suite	–	0.6 m (2 ft)
Side Yard, where building contains a Secondary Suite	–	1.5 m (5 ft)
Rear Yard, where building does not contain a Secondary Suite,		
• laned or laneless	–	0.6 m (2 ft)
Rear Yard, where building contains a Secondary Suite,		
• laned	–	0.6 m (2 ft)
• laneless	–	1.5 m (5 ft)

**5. MAXIMUM LOT COVERAGE RATIO**

Principal building, except Duplex / Semi-Detached Dwelling	–	35%
Duplex / Semi-Detached Dwelling (on one certificate of title)	–	45%
Accessory buildings, except on a Duplex / Semi-Detached Dwelling lot	–	15%
Accessory building on a Duplex / Semi-Detached Dwelling lot	–	5%

**6. MAXIMUM BUILDING HEIGHT**

Principal building, up to two-storey, no walkout basement	–	10.0 m (32.8 ft)
Principal building, two-storey walk-out basement	–	13.0 m (42.7 ft)
Secondary Suite, Detached (above garage)	–	7.5 m (24.6 ft)
Secondary Suite, Detached (stand-alone structure)	–	5.0 m (16.4 ft)
Other accessory buildings	–	5.0 m (16.4 ft)

**7. MINIMUM HABITABLE FLOOR AREA OF PRINCIPAL BUILDING**

Single-Detached Dwelling	–	102 m <sup>2</sup> (1,100 ft <sup>2</sup> ) habitable floor area
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**8. STANDARDS OF DEVELOPMENT – See Schedule 4.**

**9. OFF-STREET PARKING AND LOADING – See Schedule 6.**

**10. RELOCATION OF BUILDINGS – See Schedule 7.**

**11. CRITERIA FOR HOME OCCUPATIONS – See Schedule 8.**

**12. MANUFACTURED HOME DEVELOPMENT STANDARDS – See Schedule 9.**

**13. STANDARDS FOR SECONDARY SUITES – See Schedule 15.**

**14. STANDARDS FOR SHORT-TERM RENTAL/BED & BREAKFAST AND TOURIST HOME – See Schedule 17.**

**15. DEFINITIONS – See Schedule 18.**